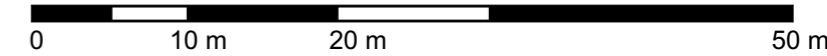




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**EXISTING BUILDING LINE**



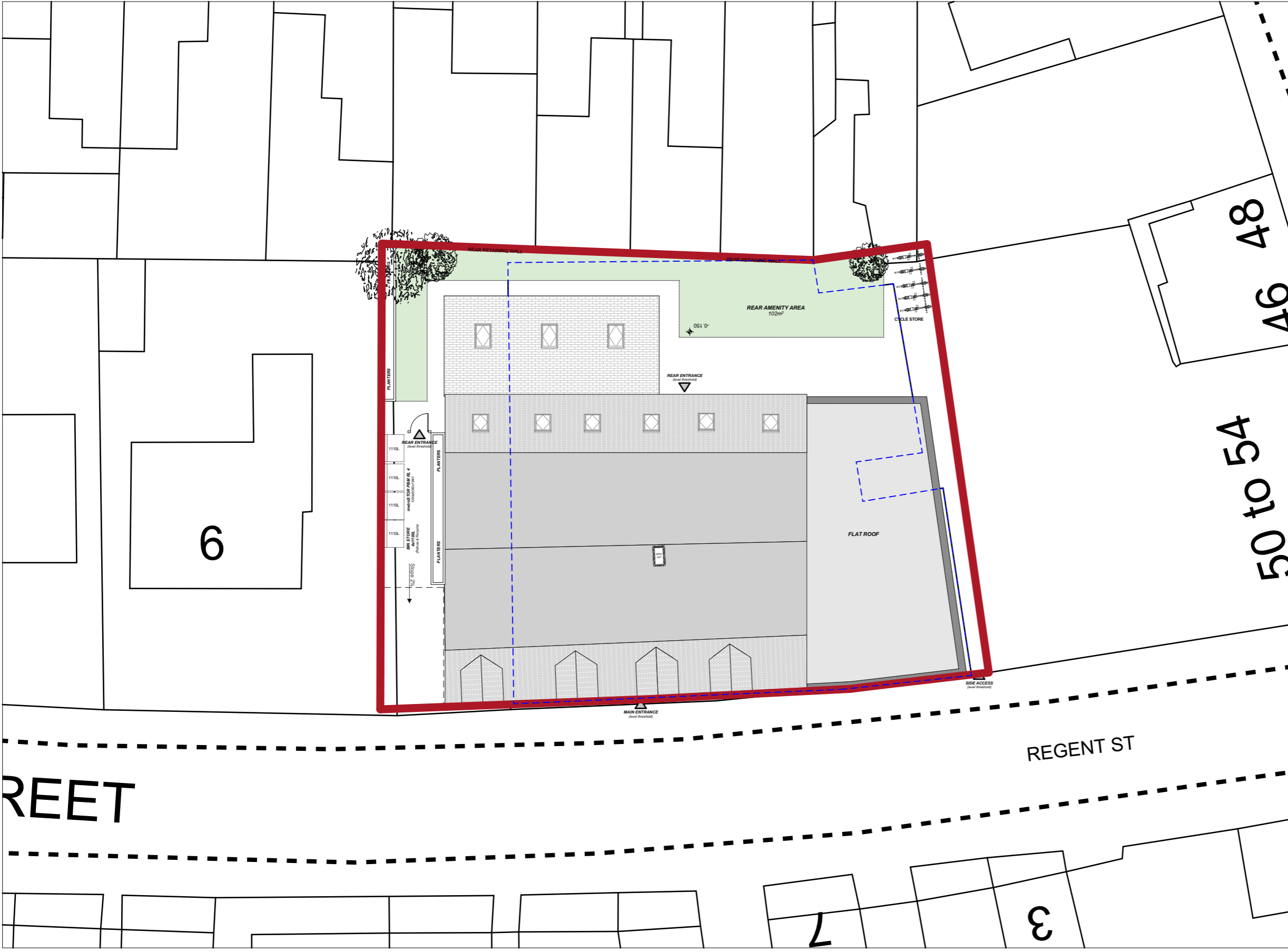
Proposed Block Plan 1:500

	Status	Scale @ A3	Purpose of Issue	Originator	Project Address	Project Description	Layout Title	Drawing Number						
	PRE LIM	1:500	Planning Permission	Peter Philip Developments	2-4 Regent St Kimberley Nottingham NG16 2LW	Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	Proposed Layouts Proposed Block Plan 1:500	project	originator	zone	level	type	role	number
Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ	Checked by JTW				RGT	- PPD -	-	-	- N/A -	1	01

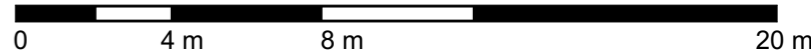
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**EXISTING BUILDING LINE**



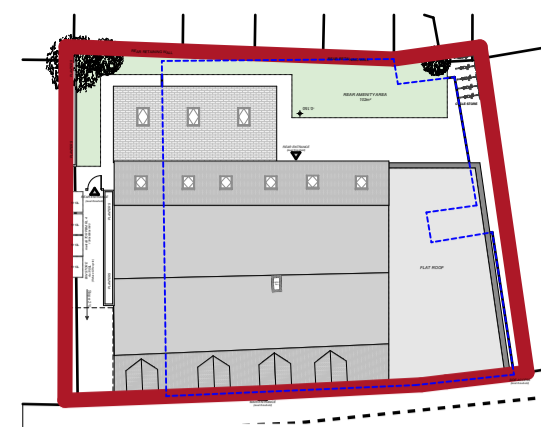
SITE AREA: 646.78sqm  
 BUILDING FOOTPRINT: 436.23sqm



Proposed Site Plan 1:200

	Status PRE LIM	Scale @ A3 1:200	Purpose of Issue Planning Permission	Originator Peter Philip Developments	Project Address 2-4 Regent St Kimberley Nottingham NG16 2LW	Project Description Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	Layout Title Proposed Layouts Proposed Site Plan 1:200	Drawing Number							
	Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ      Checked by JTW				project	originator	zone	level	type	role	number	rev
								RGT	- PPD	- ZZ	- XX	- DR	- N/A	2	01

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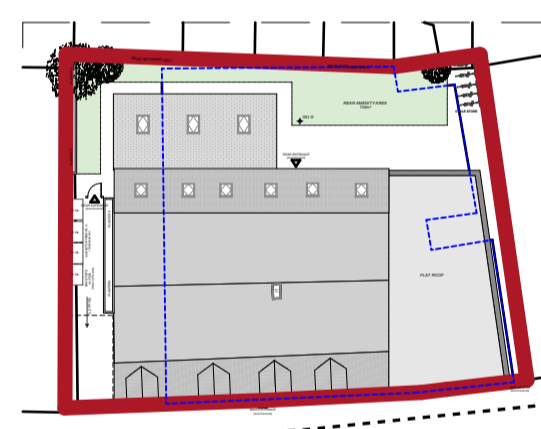
All trees and planting shown are to be confirmed by the ecology specialist. To be maintained and provide a buffer from the neighbouring properties.

5.79m Eaves height. The ridge height measures 9.19m. The eaves are designed as low as possible along with the pitched roof to match the existing context and roof lines.

--- EXISTING BUILDING LINE

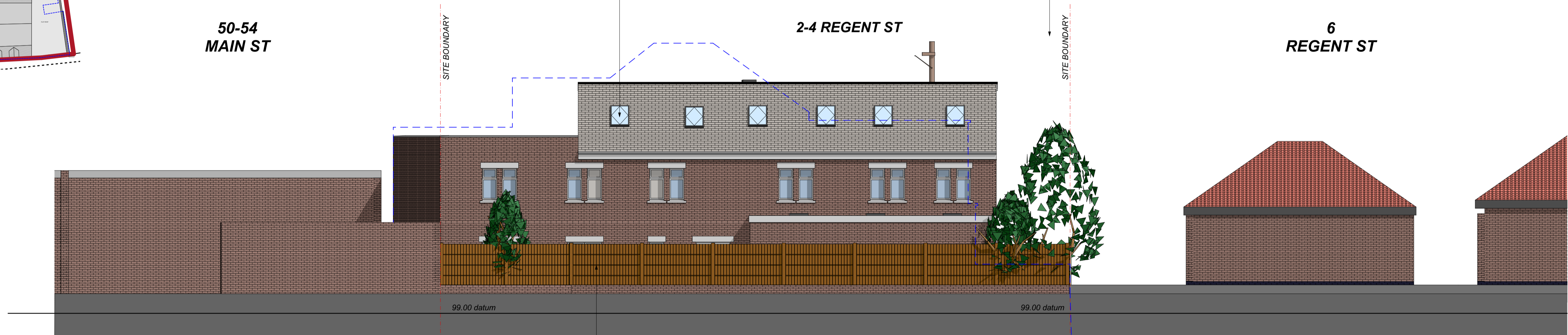


Front Elevation  
Scale: 1:100



Proposed 780x1178mm Velux skylights serving habitable rooms in the loft floor.

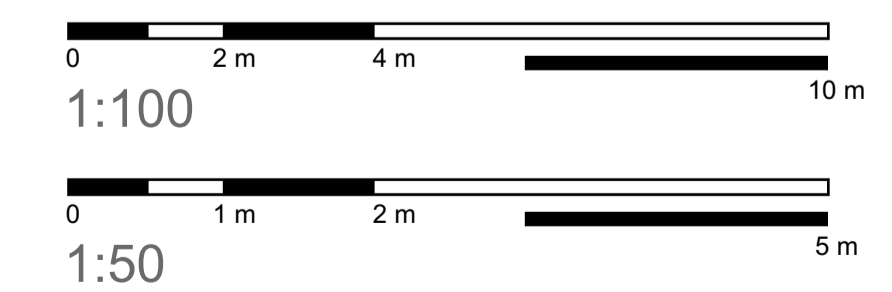
All trees and planting shown are to be confirmed by the ecology specialist. To be maintained and provide a buffer from the neighbouring properties.



At least 1.8m high timber fence panels with timber posts to be installed to provide privacy and divide the site away from the existing rear properties on James Street.

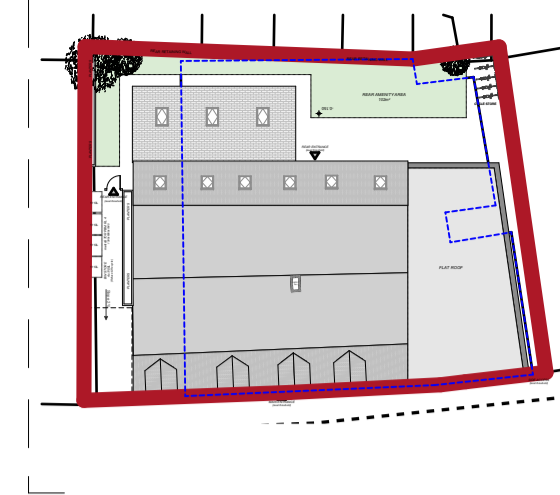


Rear Elevation  
Scale: 1:100



	<b>Status</b> PRE LIM	<b>Scale @ A1</b> 1:50/100	<b>Purpose of Issue</b> Planning Permission	<b>Originator</b> Peter Philip Developments	<b>Project Address</b> 2-4 Regent St Kimberley Nottingham NG16 2LW	<b>Project Description</b> Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	<b>Layout Title</b> Proposed Layouts Proposed Site Front & Rear Elevations	<b>Drawing Number</b>															
	Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ	Checked by JTW			<table border="1"> <thead> <tr> <th>project</th> <th>originator</th> <th>zone</th> <th>level</th> <th>type</th> <th>role</th> <th>number</th> <th>rev</th> </tr> </thead> <tbody> <tr> <td>RGT</td> <td>- PPD -</td> <td>-</td> <td>-</td> <td>-</td> <td>-N/A-</td> <td>3</td> <td></td> </tr> </tbody> </table>	project	originator	zone	level	type	role	number	rev	RGT	- PPD -	-	-	-	-N/A-	3
project	originator	zone	level	type	role	number	rev																
RGT	- PPD -	-	-	-	-N/A-	3																	

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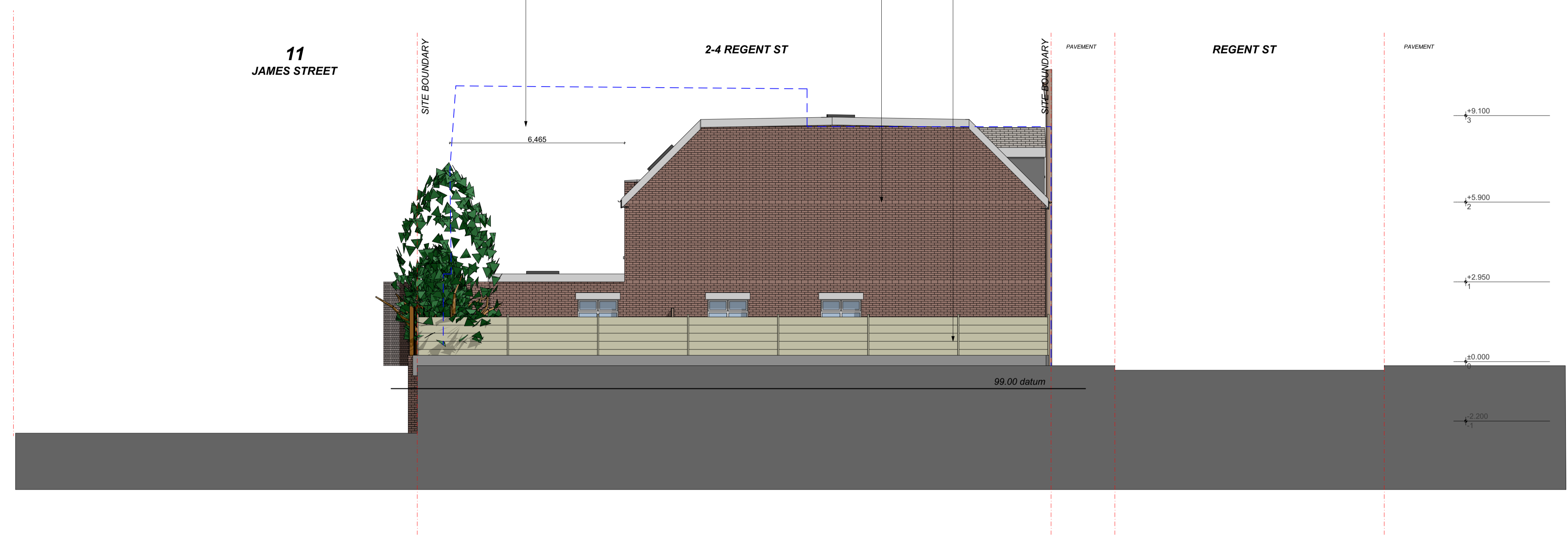


6.46m Setback and roof height reduction to rear.  
 This significantly improves the neighbouring amenity of the rear gardens for the properties on James St.

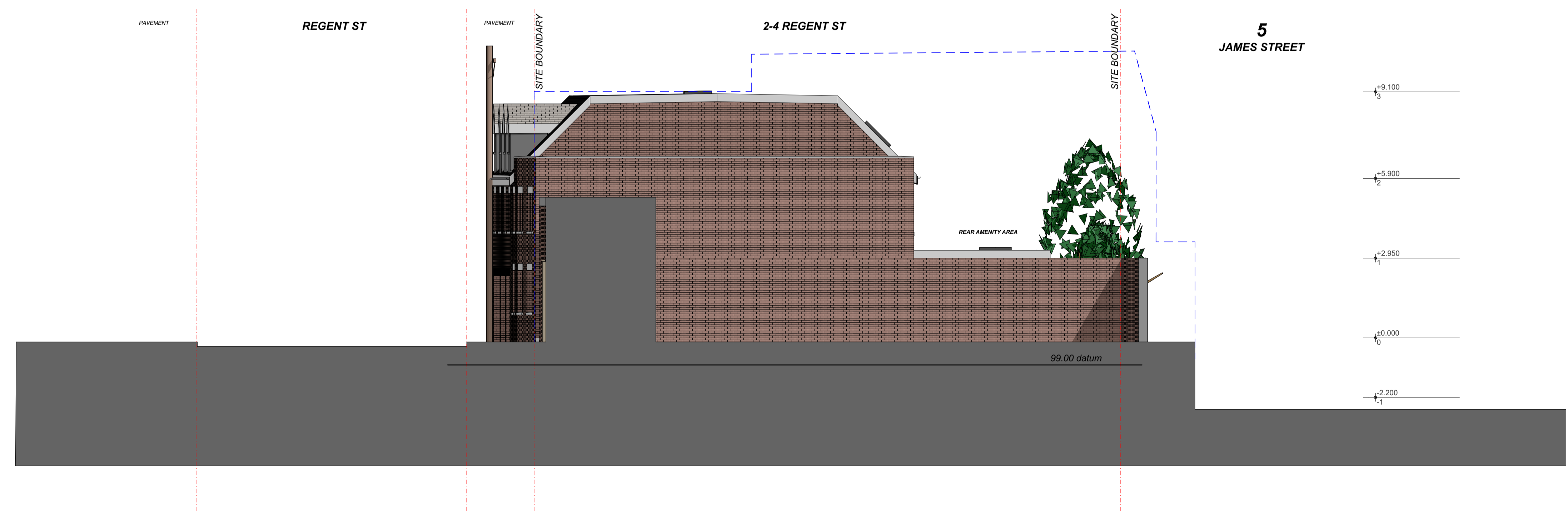
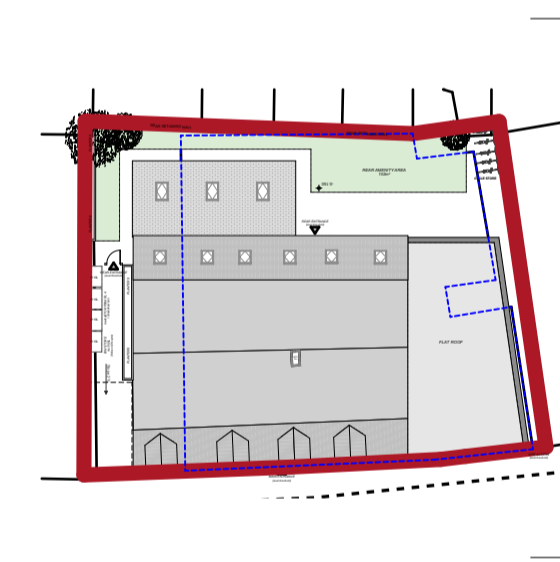
No windows installed above the ground floor on the flank elevation facing No. 6 to protect the amenity of the residents.

Existing neighbouring concrete slats and post boundary to be retained and unaffected by the scheme.

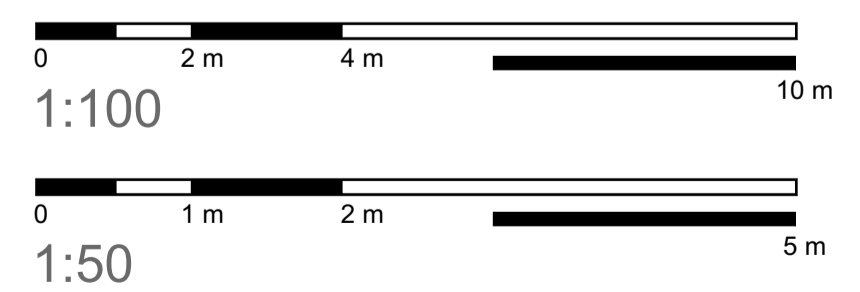
--- EXISTING BUILDING LINE



Side 01 Elevation  
 Scale: 1:100



Side 02 Elevation  
 Scale: 1:100

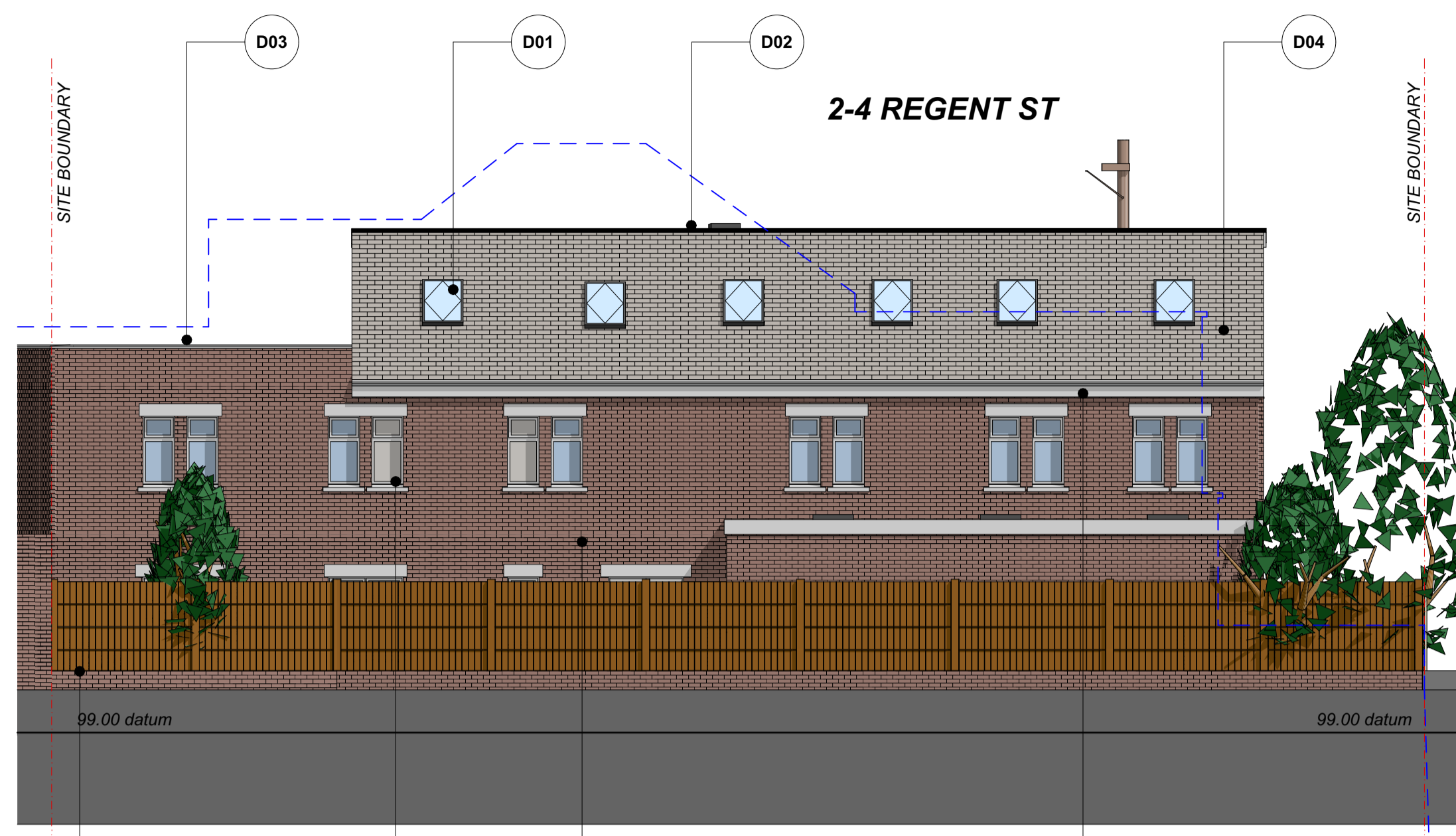


	<b>Status</b> PRE LIM	<b>Scale @ A1</b> 1:50/100	<b>Purpose of Issue</b> Planning Permission	<b>Originator</b> Peter Philip Developments	<b>Project Address</b> 2-4 Regent St Kimberley Nottingham NG16 2LW	<b>Project Description</b> Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	<b>Layout Title</b> Proposed Layouts Proposed Site Side Elevations	<b>Drawing Number</b>															
	Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ      Checked by JTW				<table border="1"> <thead> <tr> <th>project</th> <th>originator</th> <th>zone</th> <th>level</th> <th>type</th> <th>role</th> <th>number</th> <th>rev</th> </tr> </thead> <tbody> <tr> <td>RGT</td> <td>- PPD -</td> <td>-</td> <td>-</td> <td>-</td> <td>-N/A-</td> <td>4</td> <td></td> </tr> </tbody> </table>	project	originator	zone	level	type	role	number	rev	RGT	- PPD -	-	-	-	-N/A-	4
project	originator	zone	level	type	role	number	rev																
RGT	- PPD -	-	-	-	-N/A-	4																	

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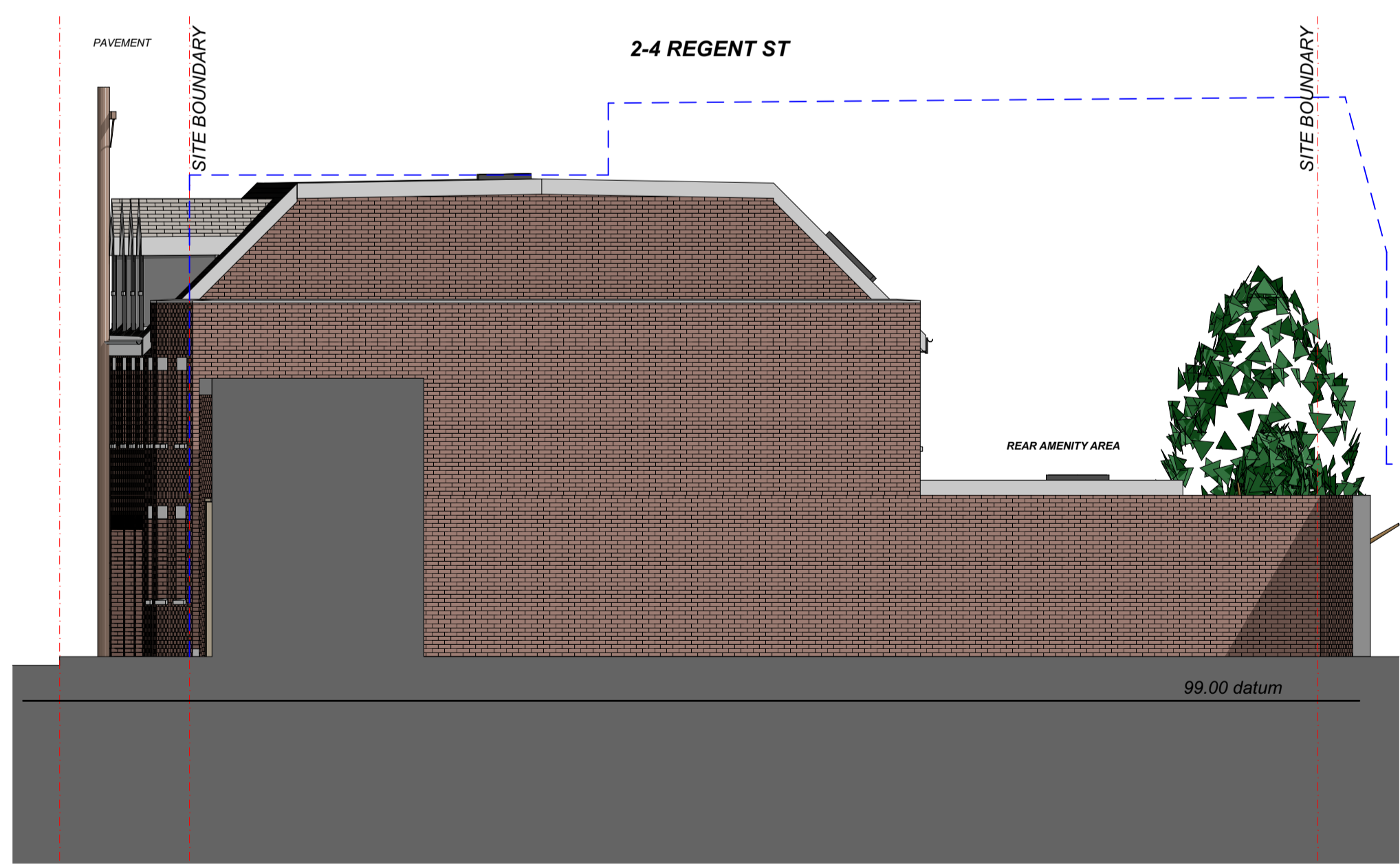
Front Elevation  
Scale: 1:100



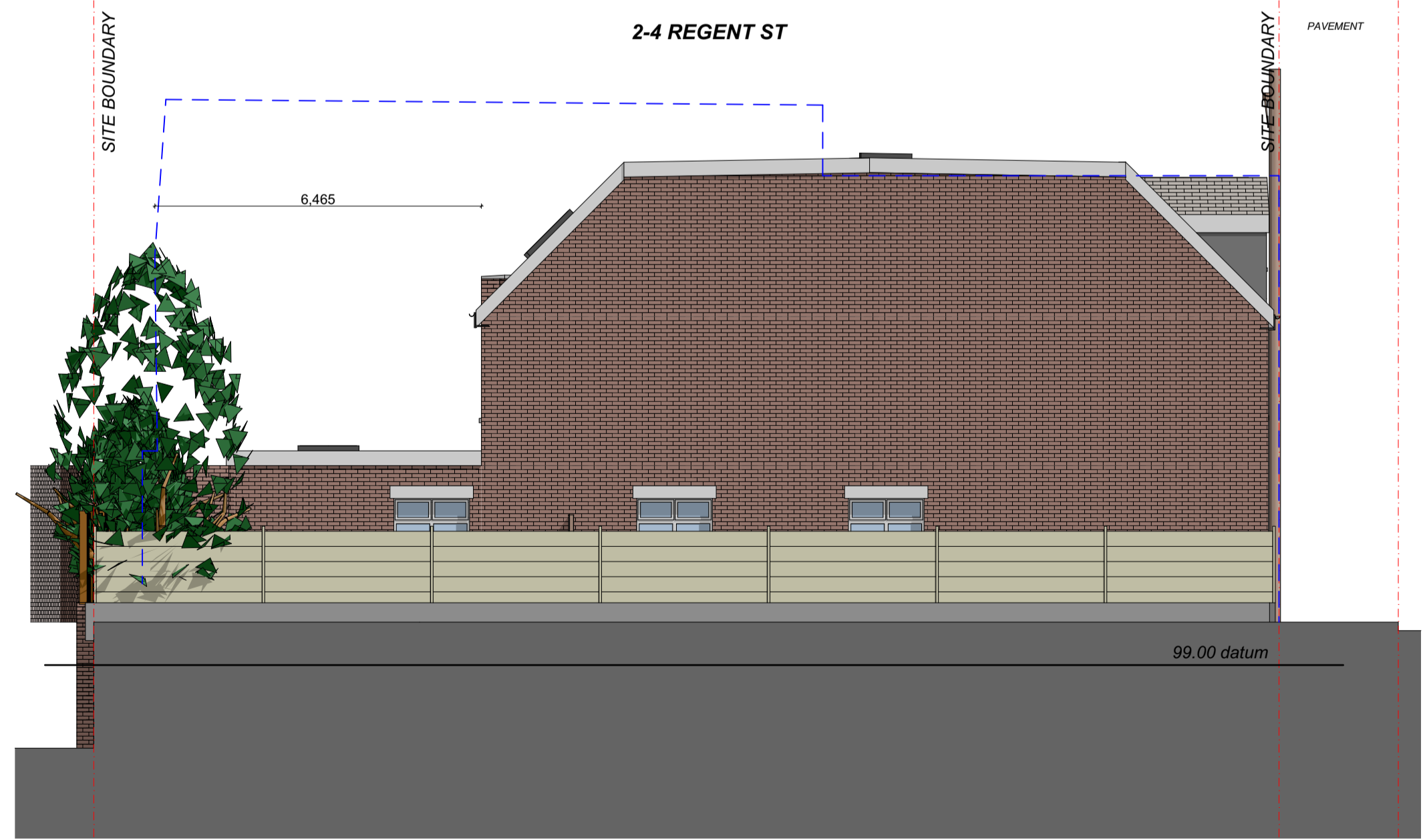
Rear Elevation  
Scale: 1:100

--- EXISTING BUILDING LINE

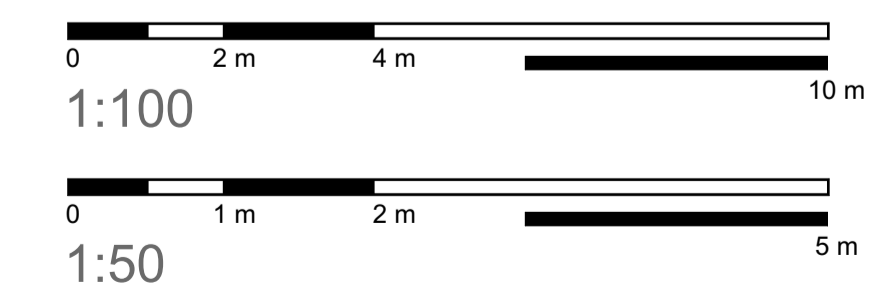
									
<b>D01</b> Proposed Velux Skylights 780x1178mm to be installed in all habitable rear rooms on the second floor.	<b>D02</b> 1 square meter AOV ventilation skylight installed above the communal staircase to comply with Approved Doc B Vol 1: Dwellings. To be mains/fire alarm interlinked.	<b>D03</b> Flat roof grey GRP finish (or similar). The flat roof will not be a visible element on the streetscene. Only the grey tiles matching the context will be visible.	<b>D04</b> Interlocking grey slate roof tiles installed on roof and dormers. To match with the majority of the existing roof tile finishes along Regent St.	<b>D05</b> Obscure glazed white UPVC transomed windows (800mm Sill Height) for each bathroom.	<b>D06</b> Matching Red/Brown brick.	<b>D07</b> Entrance door to be white UPVC single glazed door with sidelight and brick soldier course. Suitable for disabled use.	<b>D08</b> Multiple glazing panel white UPVC windows installed to match with the existing context. First floor windows to have small transom opening for security.	<b>D09</b> White soffit and fascia board eaves detail with fixed dark UPVC plastic gutter and connected rain water pipes.	<b>D10</b> Metro Stor1 PBM RL 4 - Fire proof secure bin store.




Side 02 Elevation  
Scale: 1:100



Side 01 Elevation  
Scale: 1:100



 <b>PETER PHILIP DEVELOPMENTS</b>	<b>Status</b> PRE LIM	<b>Scale @ A1</b> 1:50/100	<b>Purpose of Issue</b> Planning Permission	<b>Originator</b> Peter Philip Developments	<b>Project Address</b> 2-4 Regent St Kimberley Nottingham NG16 2LW	<b>Project Description</b> Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	<b>Layout Title</b> Proposed Layouts Materials Finshes Elevations	<b>Drawing Number</b>															
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**Drawing Key (internal)**

- Proposed Flats
- Proposed Staircore/Lobby Areas
- Proposed Communal/Staff Areas
- Boundary

**Schedule of Accomodation**

**Ground Floor**

Flat No.	Persons	m <sup>2</sup>
Flat 01 (Cat2)	1	69
Flat 02 (Cat2)	1	57
Flat 03 (Cat2)	1	68
Staff	n/a	12.5
Communal	n/a	43
<b>TOTAL</b>	<b>3</b>	<b>249</b>

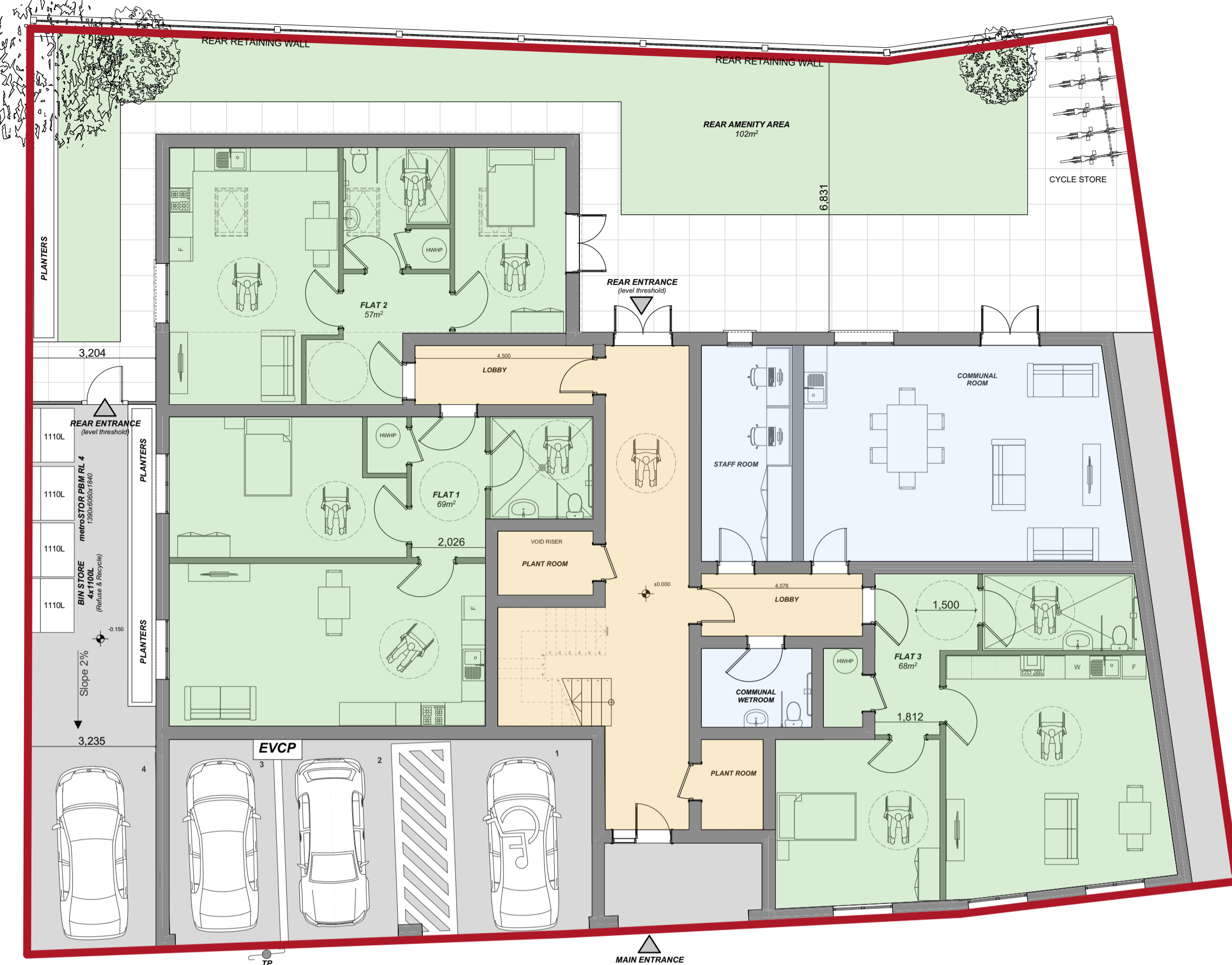
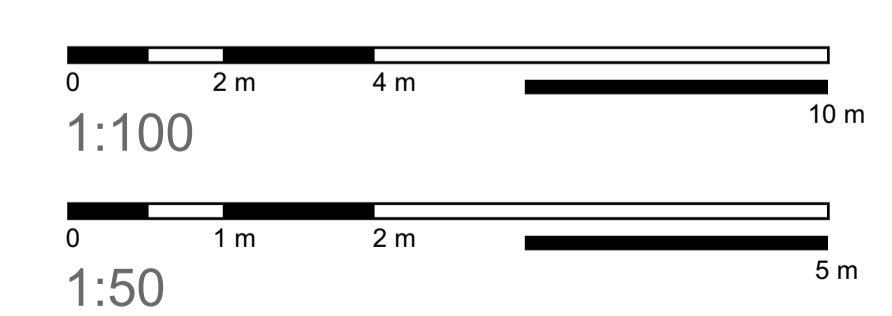
**First Floor**

Flat No.	Persons	m <sup>2</sup>
Flat 04	1	57
Flat 05	1	43
Flat 06	1	44
Flat 07	1	45
Flat 08	1	55
Flat 09	1	45
<b>TOTAL</b>	<b>6</b>	<b>289</b>

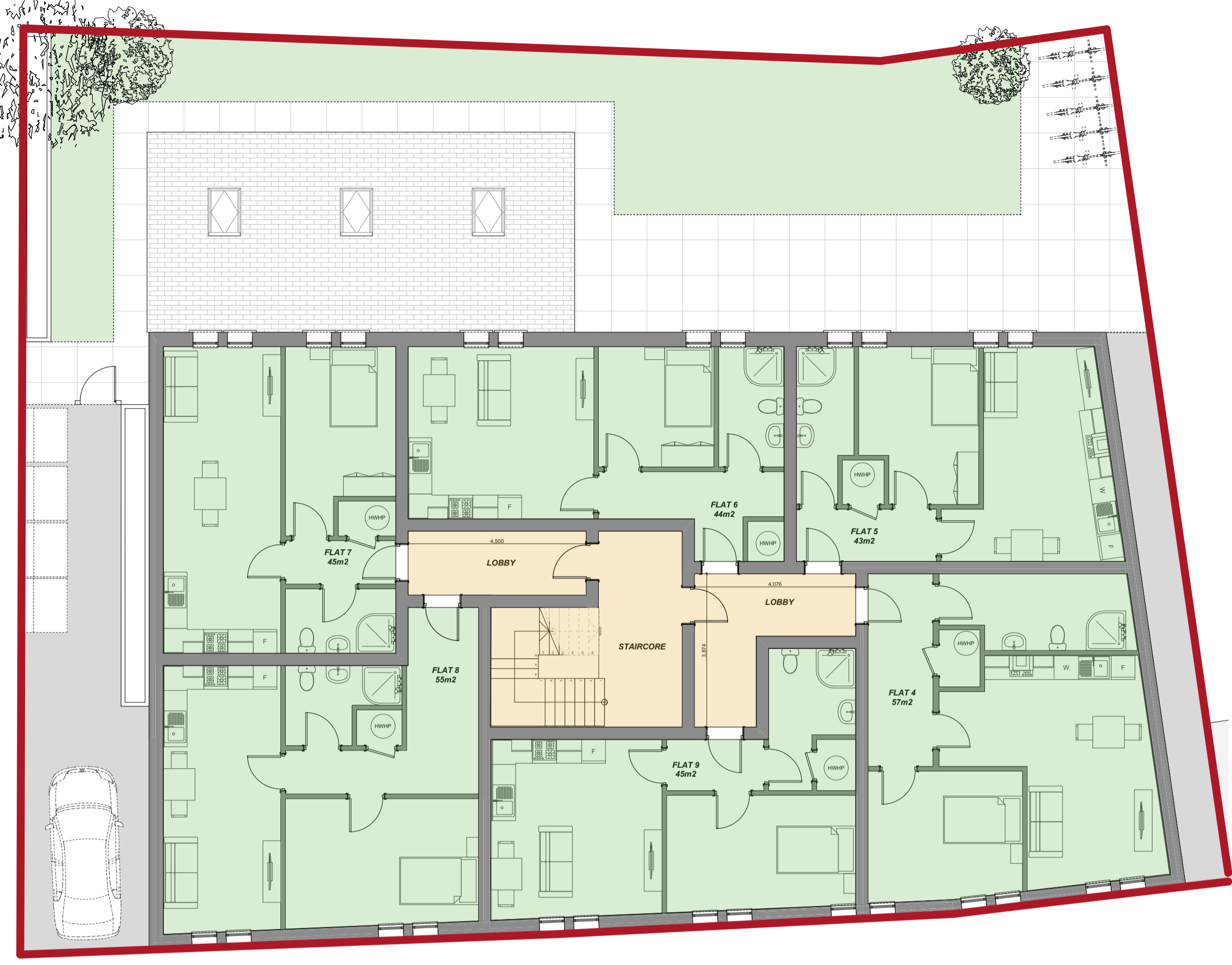
**Second Floor**

Flat No.	Persons	m <sup>2</sup>
Flat 10	1	43
Flat 11	1	45
Flat 12	1	41
Staff	n/a	22
<b>TOTAL</b>	<b>3</b>	<b>179</b>

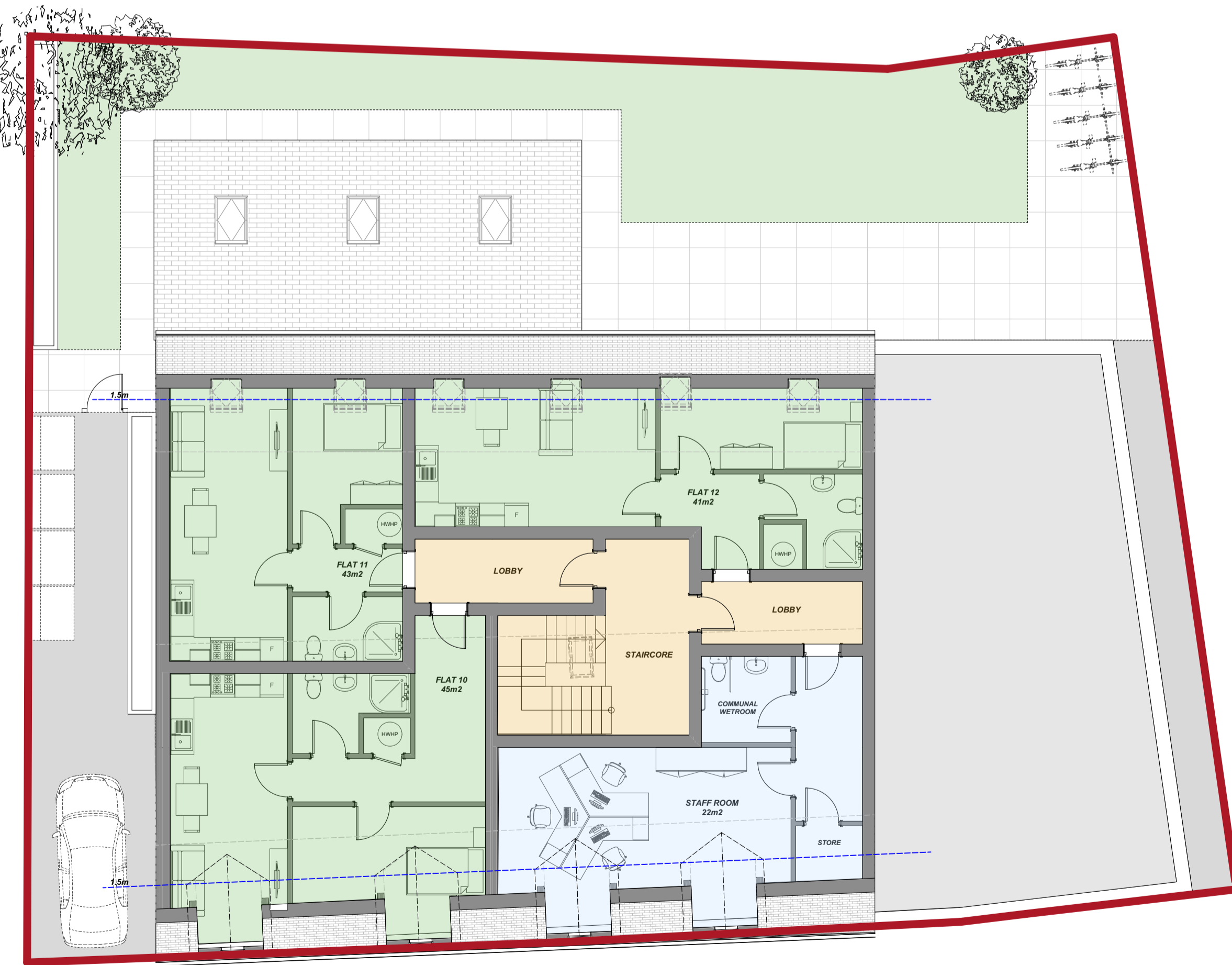
Site Area 647m<sup>2</sup>  
 Proposed Footprint 440m<sup>2</sup>



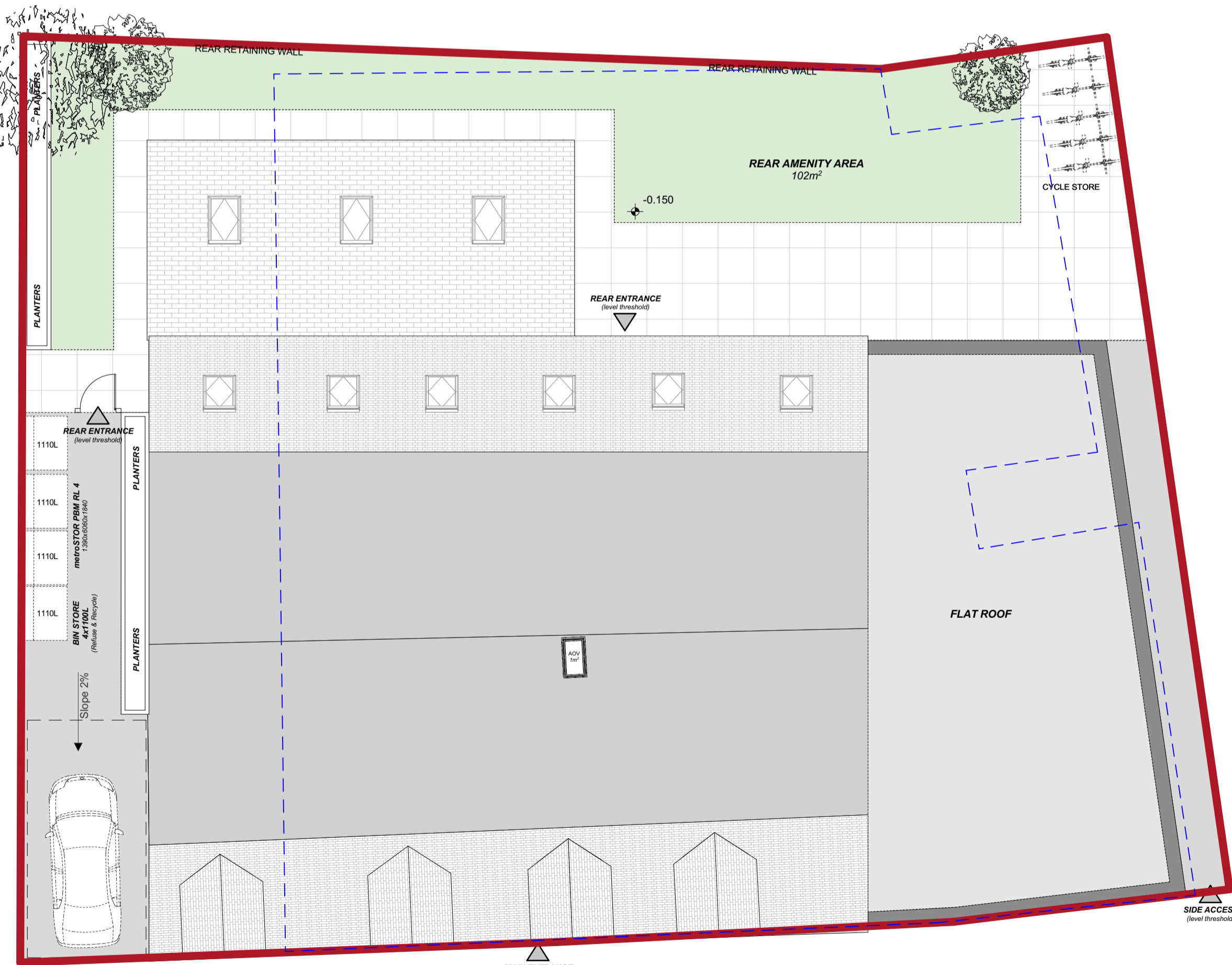
0. Ground Floor  
 Scale: 1:100



1. First Floor  
 Scale: 1:100



2. Loft Floor  
 Scale: 1:100



3. Roof Top  
 Scale: 1:100


	<b>Status</b> PRE LIM	<b>Scale @ A1</b> 1:50/100	<b>Purpose of Issue</b> Planning Permission	<b>Originator</b> Peter Philip Developments	<b>Project Address</b> 2-4 Regent St Kimberley Nottingham NG16 2LW	<b>Project Description</b> Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	<b>Layout Title</b> Proposed Plans & Visuals Proposed Plans	<b>Drawing Number</b>															
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project	originator	zone	level	type	role	number	rev																
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Front Visual


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	PRE LIM	N/A	Planning Permission	Peter Philip Developments	2-4 Regent St Kimberley Nottingham NG16 2LW	Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	Design and Construction Visual 01	project	originator	zone	level	type	role	number
Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ	Checked by APPJ				RGT	- PPD -	-	-	- N/A -	3	

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Rear Visual

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	PRE LIM	N/A	Planning Permission	Peter Philip Developments	2-4 Regent St Kimberley Nottingham NG16 2LW	Demolition of Existing Light Industrial Unit, Storage & Business (Class E) and Erection of 12 x 1 Bed Units (C3 Use Class)	Design and Construction Visual 02	project	originator	zone	level	type	role	number
Not For Construction	Project No: N/A	Date 01 June 2024	Drawn by APPJ	Checked by APPJ				RGT	- PPD -	-	-	- N/A -	4	