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4. Peter Philip Developments to be notified if any issues with the drawing or discrepancies with the ordering of materials or commencing work.
5. All drawings to be read in conjunction with the full building regulation package of drawings issued.

Demolition

- 1) **It is the contractors responsibility to organise and arrange a survey for the demolition works prior to starting any works. The contractor should also include for an asbestos refurbishment plan and action if required.**
- 2) **Contractor is to provide a (RAMS) risk assessment and safety method statement.**
- 3) Prior to undertaking any demolition works, the contractor must inspect and identify locations of any manholes/pipework and locations of incoming or existing service utility access points.
- 4) Manhole not present on site and not surveyed.
- 5) Demolition must not effect the neighboring properties in any way. It is the contractors reasonability to ensure this is the case.

Foundation

- 1) This drawing is a preliminary specification and is indicative only. This is not a construction drawing.
- 2) Indicative existing drainage to be confirmed on site by the principal contractor prior to starting work.
- 3) Contractor is responsible for checking any existing adjacent building foundations if they are as assumed on the drawings prior to starting work.
- 4) The contractor to seek for approval of the building control officer prior to the pouring of the foundation. The building control officer will visit the construction site to inspect the soil conditions and positioning and depth of the footings before the foundation is poured and covered.
- 5) The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:• Support of beam • Insertion of DPC through wall• Raising a wall or cutting off projections• Demolition and rebuilding• Underpinning • Insertion of lead flashings• Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.A Party Wall Agreement is to be in place prior to start of works on site.

Drainage

- 1) Exact location of the new manholes will be confirmed on site once construction begins.
- 2) It is the contractor's responsibility to carry the first fix plumbing installation, and install a designated hot and cold feed with correct diameter pipes, terminated with isolation valves for LSI installers to connect to.
- 3) All ducting installations are the responsibility of the contractor and must conform with Part F of the UK building regulations.
- 4) The contractor is responsible for the plumbing first fix installation. It must have an installed 40mm waste water system installed in the correct location for installation of the sink and appliances. Waste water installations should be installed at 400mm from the finished floor height at a right angle from the back of the sink unit.
- 5) Hot and cold feeds should be installed at 500mm from the finished floor height at a right angle from the back of the sink unit.

Structure

- 1) Dimensions of all structural openings to be confirmed before any orders are placed for windows/doors.
- 2) Steel beams and columns to be protected from fire according to UK Building Regulations. Minimum 1 hour fire resistance is required. 2 coats of intumescent paint or a double layer of plaster board to be provided.
- 3) Contractor is responsible for checking any existing adjacent building foundations if they are as assumed on the drawings prior to starting work. The contractor to seek for approval of the building control officer prior to the foundation is poured. The building control officer will visit the construction site to inspect the soil conditions and positioning and depth of the footings before the concrete is poured.
- 4) Contractor to take all necessary precautions to prop and brace during construction. A competent Health and Safety consultant should be employed.
- 5) Contractor to issue method statement (prior to commencement of all works) for approval.
- 6) Any deviation from what is shown on this drawing, contractor to consult the structural engineer and principal designer.
- 7) Party walls to be exposed and checked for adequacy i.e. foundation prior to commencement of work as required by the Building Control Officer.

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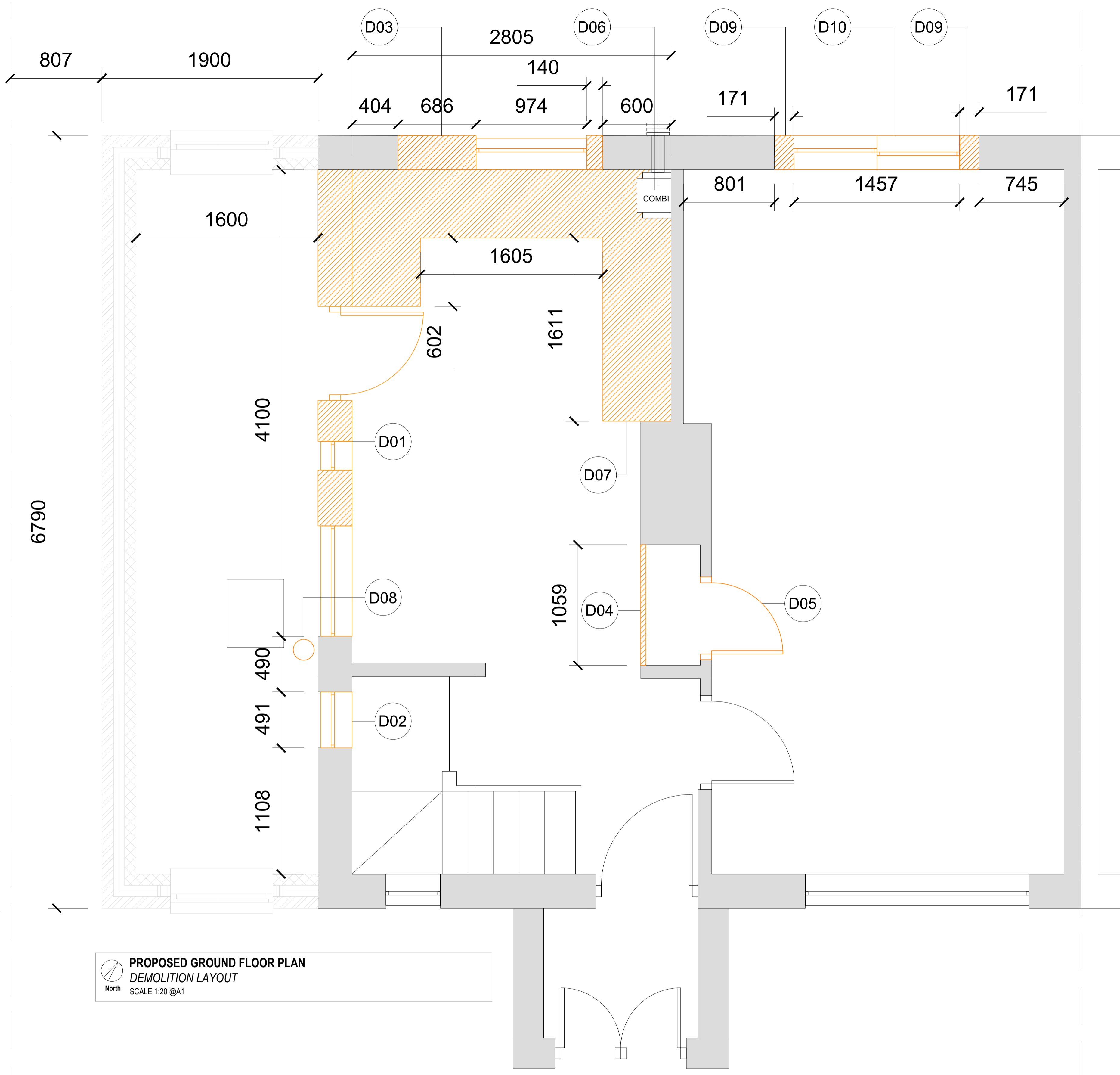




**PROPOSED REAR ELEVATION
DEMOLITION LAYOUT**
SCALE 1:20 @A1



**PROPOSED SIDE ELEVATION
DEMOLITION LAYOUT**
SCALE 1:20 @A1



**PROPOSED GROUND FLOOR PLAN
DEMOLITION LAYOUT**
SCALE 1:20 @A1

- NOTES:**
- 1) It is the contractors responsibility to organise and arrange a survey for the demolition works prior to starting any works. The contractor should also include for an asbestos refurbishment plan and action if required.
 - 2) **Contractor is to provide a (RAMS) risk assessment and safety method statement.**
 - 3) Prior to undertaking any demolition works, the contractor must inspect and identify locations of any manholes/pipework and locations of incoming or existing service utility access points.
 - 4) Manhole on site to be built over. Severn Trent domestic build over application applied for. New Manhole proposed. See foundation & drainage layouts for further information.
 - 5) Demolition must not effect the neighboring properties in any way. It is the contractors reasonability to ensure this is the case.

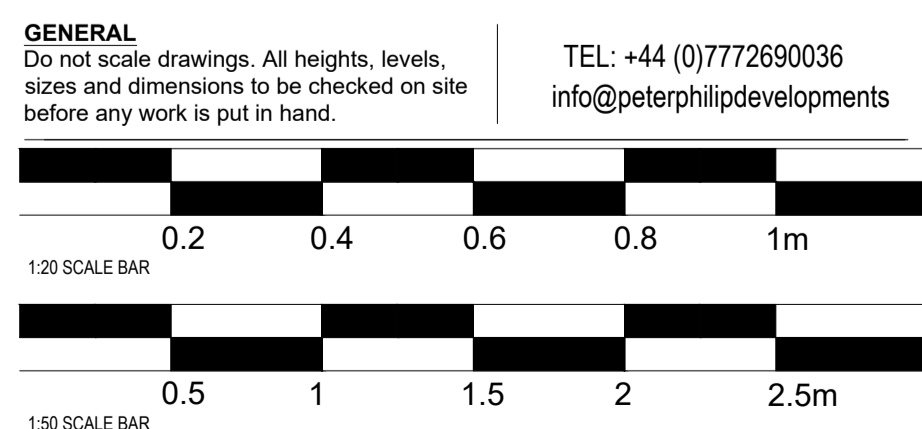
- DESCRIPTION OF WORKS:**
- D01** The existing load-bearing external wall facing the driveway is to be removed 4100mm as shown. The contractor is to liaise with the Structural engineer to ensure the propping of the wall above is safe and deemed suitable for on site works.
- D02** Existing window to staircase is to be removed and filled with blockwork with 100mm cavity & insulation. See detail sheet for specifications.
- D03** The window facing the garden on the rear elevation is to be removed and 786mm of the external wall to have a 1800mm structural opening. New 1800mm french double doors with 300mm side windows to be fitted in new opening. External pipework to be removed and refitted to new design. See foundation & drainage layouts for further details.
- D04** Wall to be demolished to access existing storage cupboard from kitchen. New door to be installed.
- D05** Existing door to be removed and new partition wall to be installed to fill void.
- D06** Existing combi boiler to be removed. New boiler to be installed within cupboard of proposed kitchen design.
- D07** Existing kitchen units to all be removed and stripped back to wall ready for new first fix items.
- D08** External Soil Vent Pipe serving the first floor to be partially removed at ground floor level. New connection made and to be boxed in within proposed bathroom. To be confirmed on site.
- D09** 171mm of existing wall and brickwork to be removed to fit new 1800mm french doors.
- D10** Existing double doors to be removed. Lintel to be retained if possible, see structural layouts.



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Sheet Title:
Side Extension - Building Regulations - Demolition Layouts

Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Author	APPJ	Contractors	TBC - CLIENT CHOICE

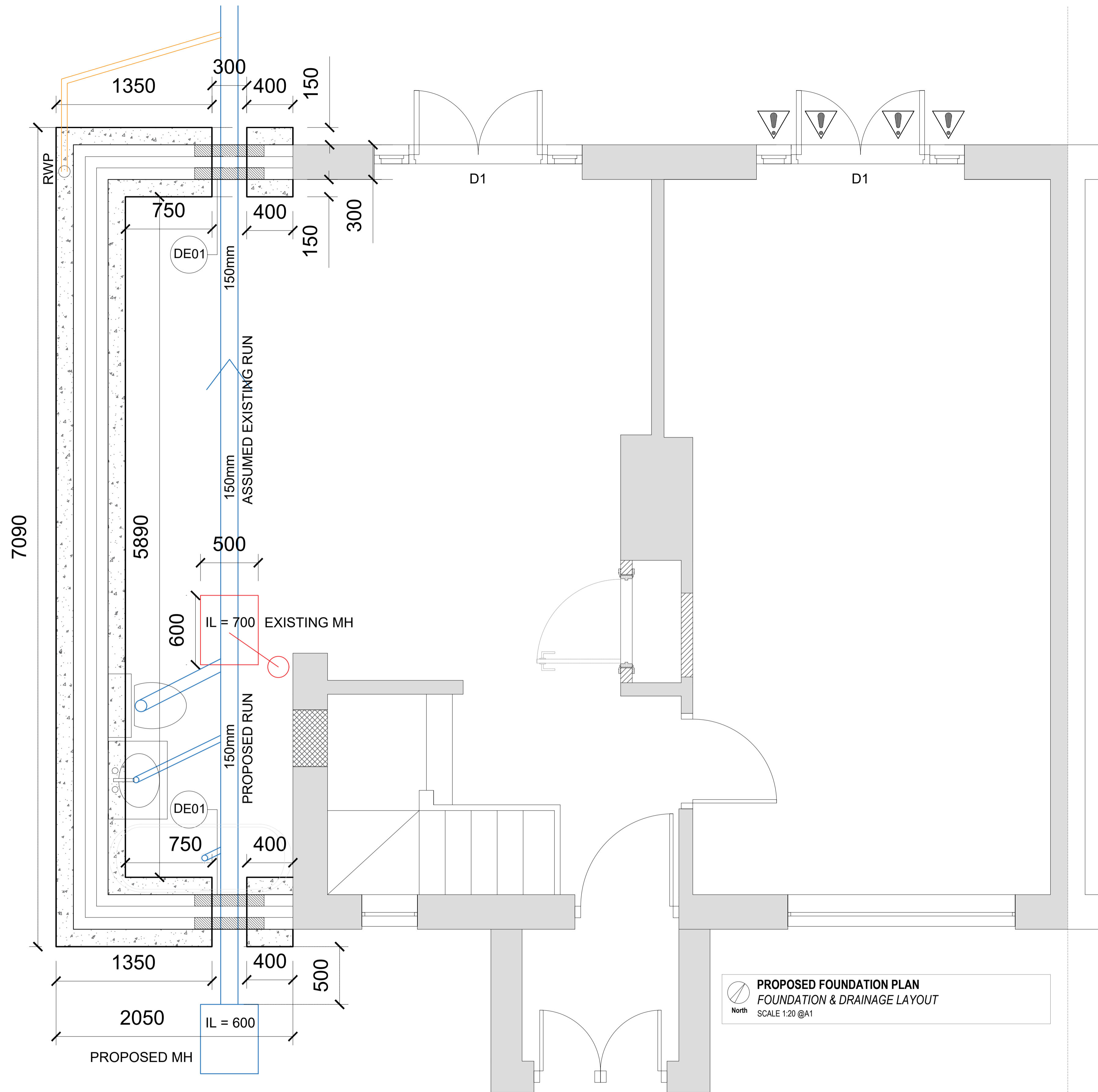
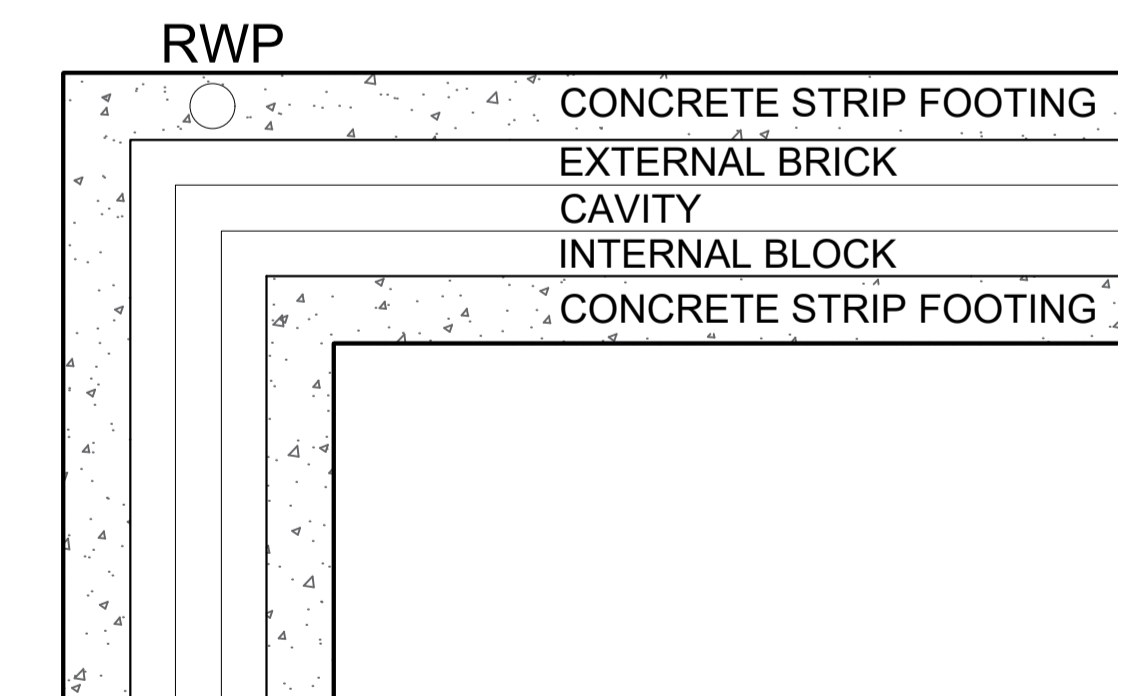


Revision Number: [REV P02]		Author: [APPJ]	
Revision Notes:			
Index	Date	Changes	Author
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B	-	-	-
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D	-	-	-
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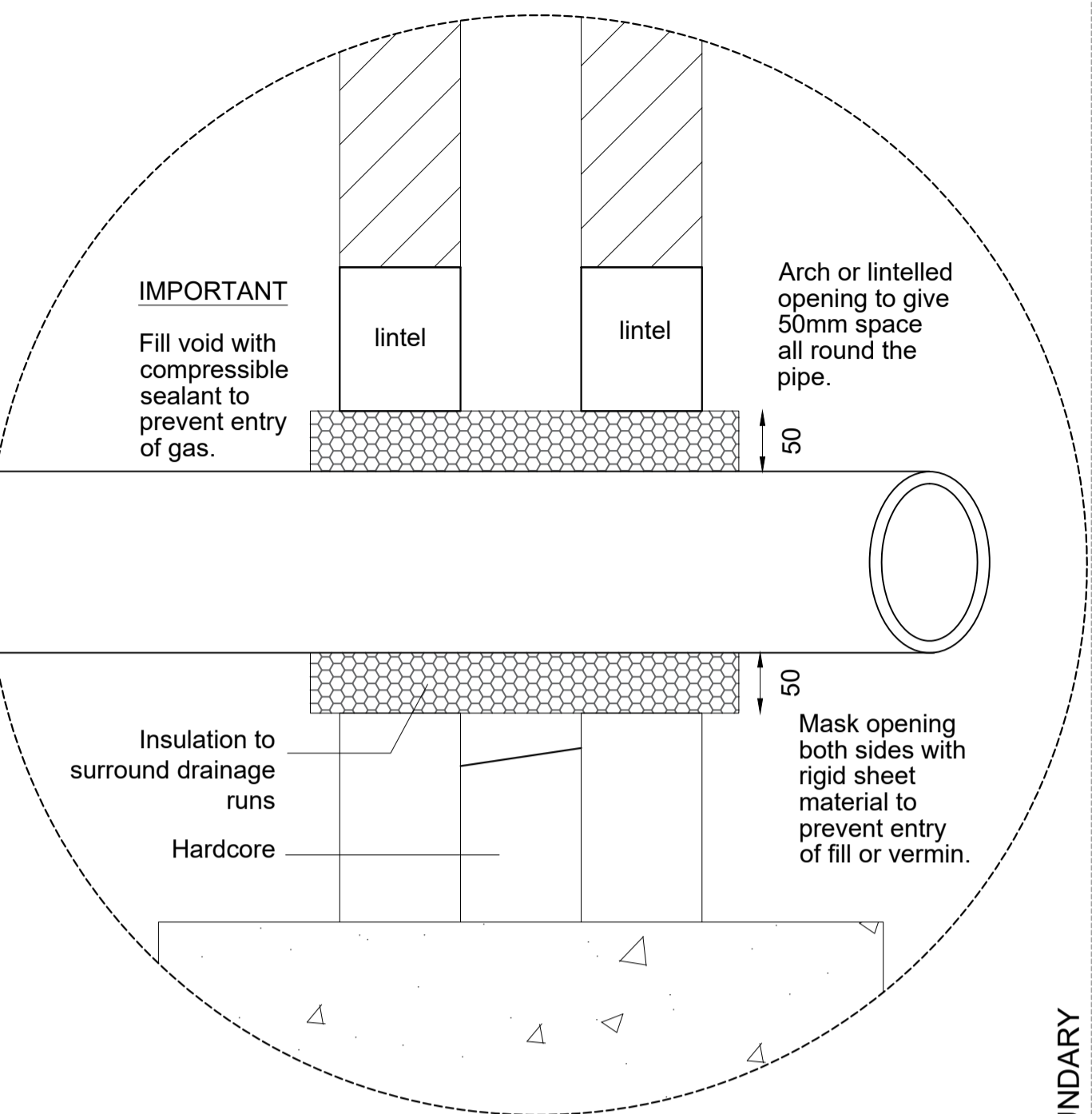
Drawing Name:	Sheet Title:	Pg No:
WV-2140-P02-BC	Demolition Layouts	PG 3

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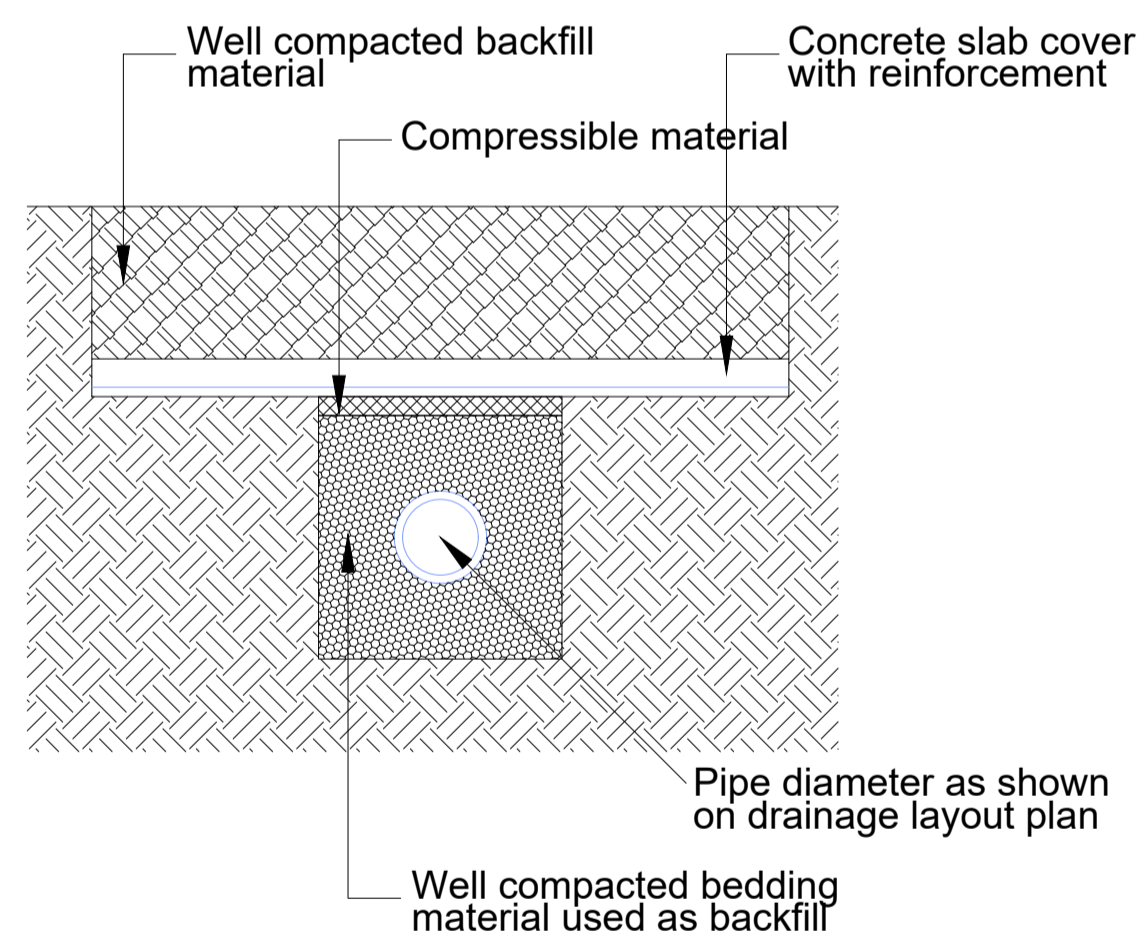
- 1) This drawing is a preliminary specification and is indicative only. This is not a construction drawing.
- 2) Indicative existing drainage to be confirmed on site by the principal contractor prior to starting work.
- 3) Contractor is responsible for checking any existing adjacent building foundations if they are as assumed on the drawings prior to starting work.
- 4) The contractor to seek for approval of the building control officer prior to the pouring of the foundation. The building control officer will visit the construction site to inspect the soil conditions and positioning and depth of the footings before the foundation is poured and covered.
- 5) The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
 - Support of beam
 - Insertion of DPC through wall
 - Raising a wall or cutting off projections
 - Demolition and rebuilding
 - Underpinning
 - Insertion of lead flashings
 - Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.
 A Party Wall Agreement is to be in place prior to start of works on site.
- 6) Drains beneath buildings to be protected as below and to Severn Trent & Building Control Authority approval. Where drainage pipes pass through wall provide: Concrete lintels to each leaf of wall over pipes. length of pipe bedded in wall joints to be within 150mm of either wall face, with 600mm maximum length rocker pipe either side. All pipes to have flexible joints. Underground drainage systems to be Kitemarked 110 and 160mm diameter PVC-U extrusion drainpipes and fittings to BS 4660: 1989 and BS EN 1401-1: 1998 and installed in accordance with BS 5955: part 6: 1980 BS 8301: 1995
- 7) All drainage runs and inverts to be checked on site. All new connections to be determined on site and agreed by building control inspector.
- 8) Existing drainage run not surveyed and shown at assumed 150mm diameter based on the inspection chamber run.



PROPOSED FOUNDATION PLAN
FOUNDATION & DRAINAGE LAYOUT
SCALE 1:20 @A1



PROPOSED DETAIL 01
FOUNDATION & DRAINAGE LAYOUT
SCALE 1:5 @A1



PROPOSED DRAINAGE PIPE & FILL DETAIL
FOUNDATION & DRAINAGE LAYOUT
SCALE 1:10 @A1

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Sheet Title:
Side Extension - Building Regulations - Foundation & Drainage

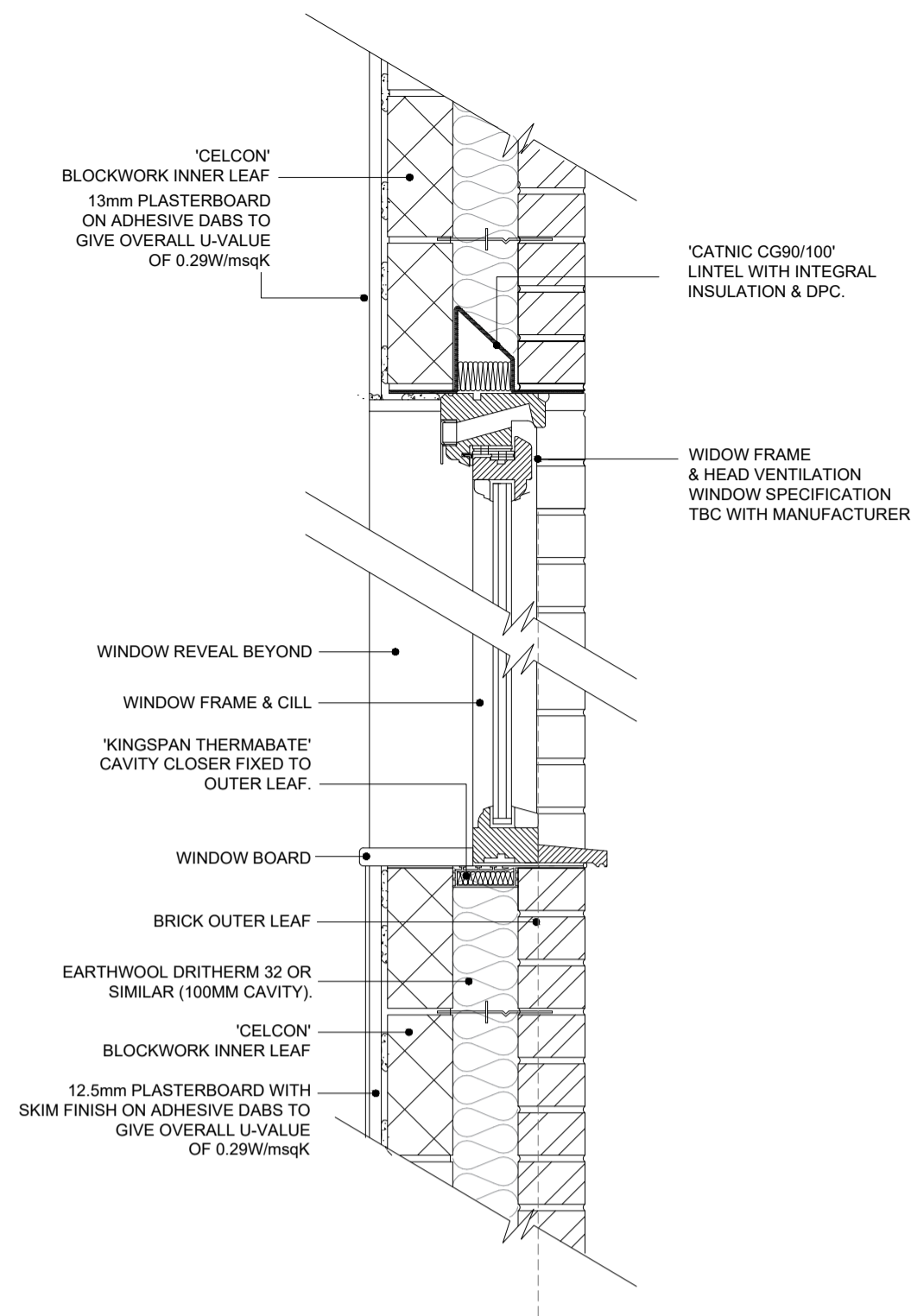
Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific		
Author	APPJ	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Contractors	TBC - CLIENT CHOICE		

GENERAL
Do not scale drawings. All heights, levels, sizes and dimensions to be checked on site before any work is put in hand.

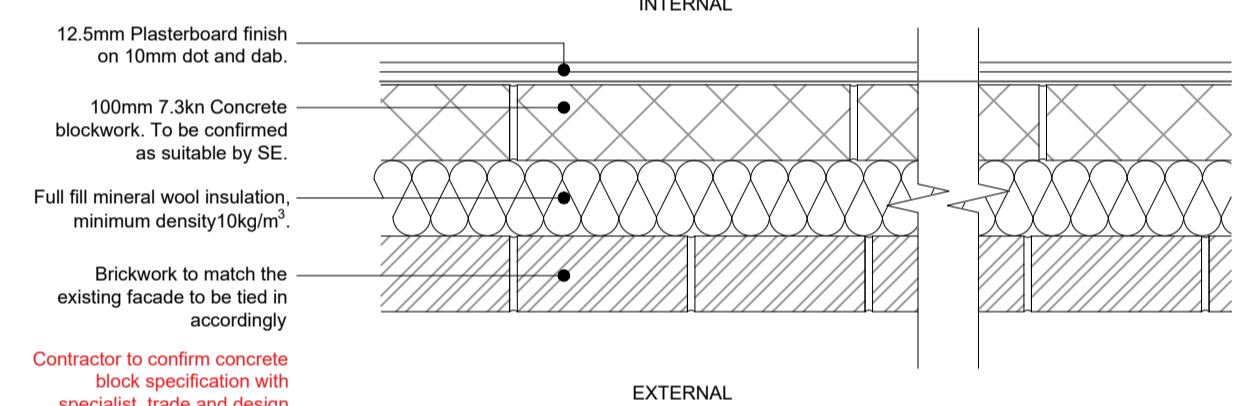
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Revision Number: [REV P02]		Author: [APPJ]	
Revision Notes:			
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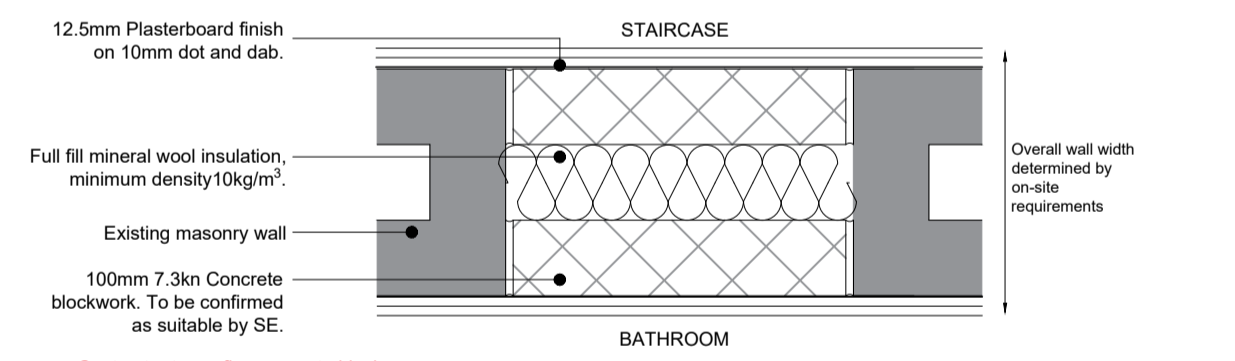
Drawing Name:	Sheet Title:	Pg No:
WV-2160-P02-BC	Foundation & Drainage Layouts	PG 4



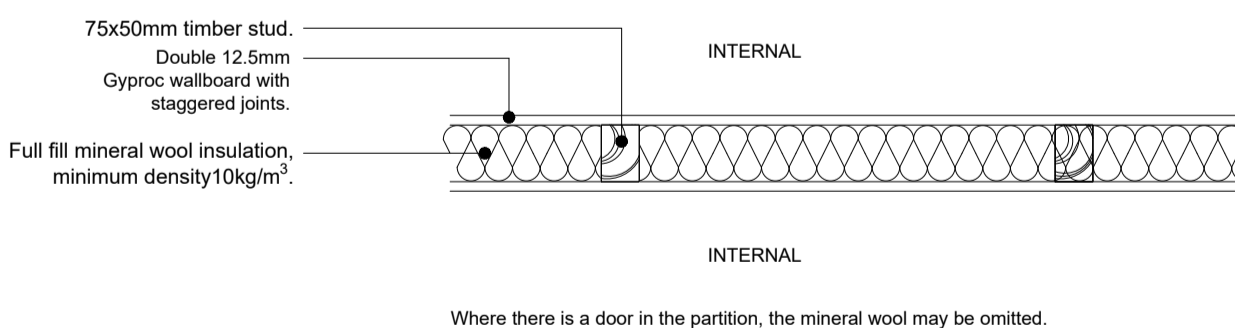
**PROPOSED LINTEL DETAIL
STRUCTURAL LAYOUT**
SCALE 1:10 @A1



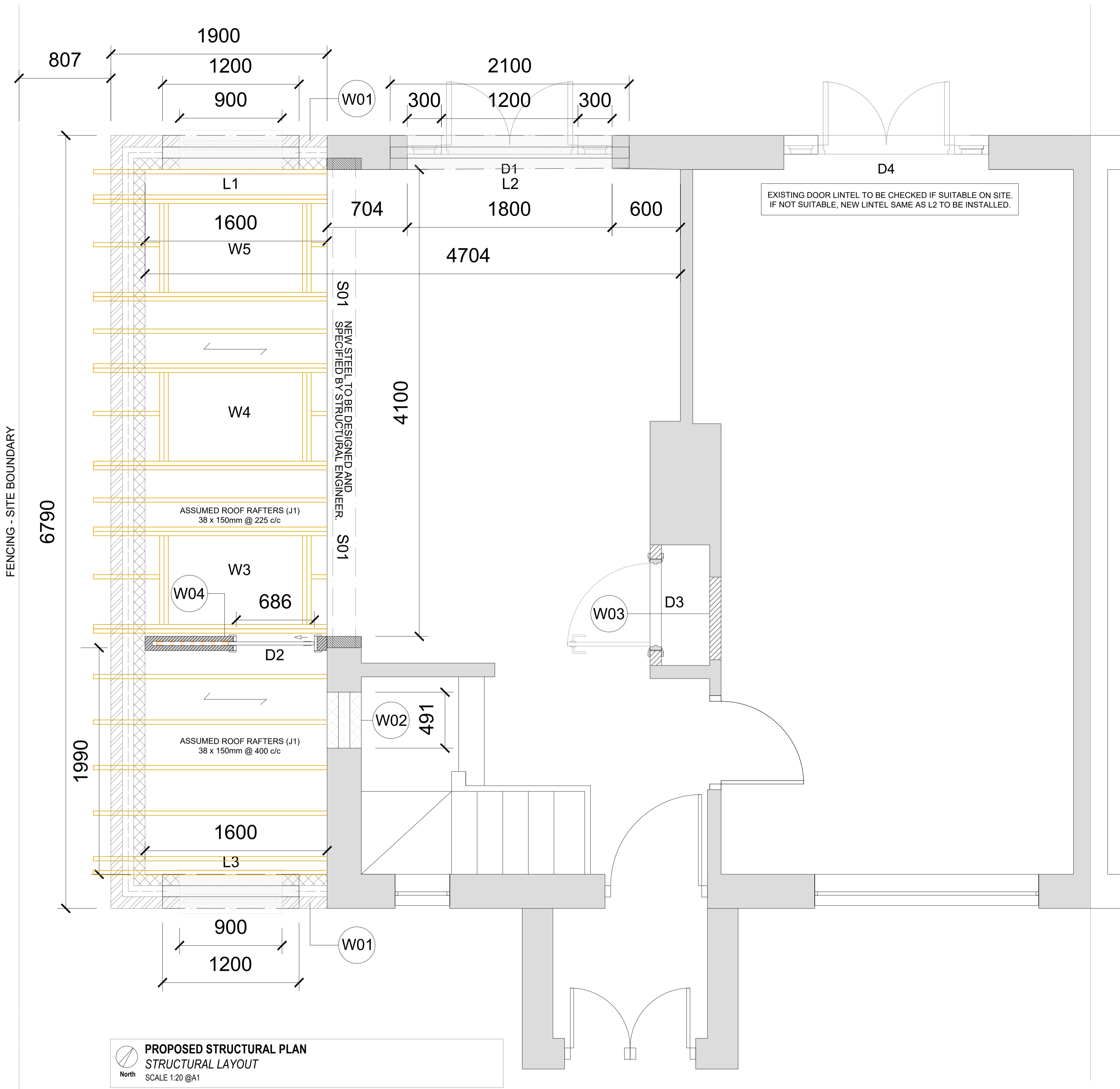
**WALL DETAIL 01 - PLAN - NEW MASONRY WALL
STRUCTURAL LAYOUT**
SCALE 1:10 @A1



**WALL DETAIL 02 - PLAN - WALL FILL
STRUCTURAL LAYOUT**
SCALE 1:10 @A1



**WALL DETAIL 03 - PLAN - INTERNAL PARTITION
STRUCTURAL LAYOUT**
SCALE 1:10 @A1



**PROPOSED STRUCTURAL PLAN
STRUCTURAL LAYOUT**
SCALE 1:20 @A1

- NOTES:**
- 1) Dimensions of all structural openings to be confirmed before any orders are placed for windows/doors.
 - 2) Steel beams and columns to be protected from fire according to UK Building Regulations. Minimum 1 hour fire resistance is required. 2 coats of intumescent paint or a double layer of plaster board to be provided.
 - 3) Before removing any walls principle contractor to confirm on site structural stability of building and wall. Consult directly with SE and refer to S.E notes for Steels and Post specifications & dimensions.
 - 4) Existing structure to be confirmed suitable for imposed loadings by S.E. Movement joints to be confirmed by S.E on site prior to any construction works.
 - 5) Contractor is responsible for checking any existing adjacent building foundations if they are as assumed on the drawings prior to starting work. The contractor to seek for approval of the building control officer prior to the foundation is poured. The building control officer will visit the construction site to inspect the soil conditions and positioning and depth of the footings before the concrete is poured.
 - 6) Contractor to take all necessary precautions to prop and brace during construction. A competent Health and Safety consultant should be employed.
 - 7) Contractor to issue method statement (prior to commencement of all works) for approval.
 - 8) Any deviation from what is shown on this drawing, contractor to consult the structural engineer and principal designer.
 - 9) Party walls to be exposed and checked for adequacy i.e. foundation prior to commencement of work as required by the Building Control Officer.
 - 10) This drawing sheet should be read in conjunction with the other drawing set published by Peter Philip Developments Ltd & specifically the Section & Detail drawings.

LINTEL SCHEDULE (TBC BY STRUCTURAL ENGINEER)

LINTEL NUMBER	LINTEL DUTY	LINTEL TYPE	LINTEL LENGTH (mm)	SWL (kN)	WEIGHT (kg/m)	HEIGHT (mm)
L01	STANDARD	CG90/100	1200	15	6.13	140
L02	STANDARD	CG90/100	1200	15	6.13	140
L03	STANDARD	CG90/100	2100	20	8.26	160

STEEL SCHEDULE (TBC BY STRUCTURAL ENGINEER)

STEEL NUMBER	CLEAR OPENING (mm)	STEEL LOCATION
S01	4100	Bridging new kitchen above proposed island between staircase and rear wall. To take load of existing external wall.

**PROPOSED STRUCTURAL SCHEDULES
STRUCTURAL LAYOUT**
SCALE 1:40 @A1

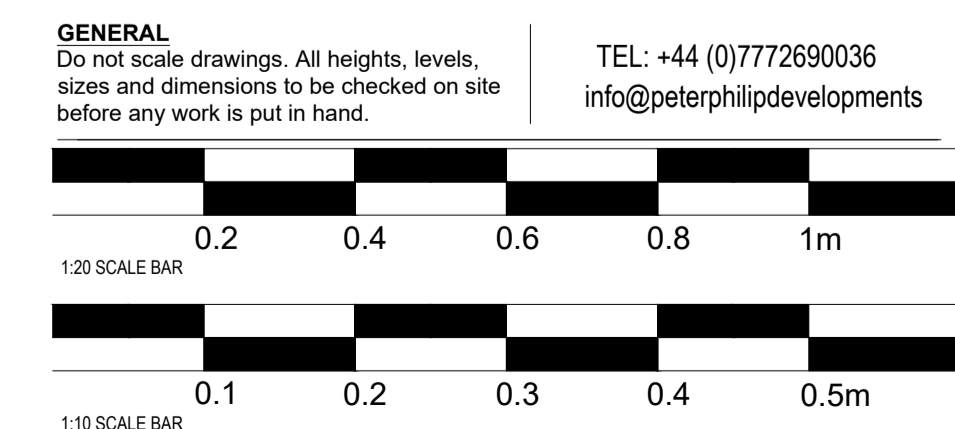
WALL 04 TO BE CONFIRMED ON SITE. CLIENT TO CONFIRM SPECIFICATION OF SLIDING POCKET DOOR TO DETERMINE WALL BUILD UP.



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Sheet Title:
Side Extension - Building Regulations - Structural Layouts

Revision No. REV 02 Client: Daniel & Rebecca Asher
Paper Size A1 Site Owner: Daniel & Rebecca Asher
Scale Drawing specific:
Author APPJ Site Address: 38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Contractors TBC - CLIENT CHOICE



Revision Number: [REV P02] Author: [APPJ]
Revision Notes:

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Drawing Name: WV-2120-P02-BC Sheet Title: Structural Layouts Pg No: PG 5

ELECTRICS KEY	
SYMBOL	ITEM
	WHITE SMOKE DETECTOR. REFER TO PLAN LEGEND FOR SPECIFICATION.
	WHITE HEAT DETECTOR. REFER TO PLAN LEGEND FOR SPECIFICATION.
	LED STRIP LIGHTING TO BE INSTALLED UNDERNEATH TOP KITCHEN UNITS
	GU10 LED SPOTLIGHT. SPECIFICATION TBC WITH CLIENT.
	PENDANT LIGHT FIXING. DESIGN TBC.
	FUSED SPUR (INC. SWITCH ABOVE COUNTER LEVEL) TO CONNECT TO ALL KITCHEN APPLIANCE PLUG SOCKETS (i.e. FRIDGE/FREEZER, OVEN/HOV, EXTRACTION UNIT, WASHING MACHINE).
	DOUBLE SWITCH SOCKET, 2 GANG
	SINGLE SWITCH SOCKET - SHAVER FOR BATHROOM
	1 GANG PLATE SWITCH
	3 GANG PLATE SWITCH
	THERMOSTAT, 7 DAY TIMER. SYSTEM SPECIFICATION TBC BY SPECIALIST CONTRACTOR.
	COOKER SWITCH.
	OUTDOOR PROJECTION BEAM
ALL ELECTRICAL LAYOUTS ARE TBC ON SITE. SPECIFICATIONS TBC WITH CLIENT PRIOR TO INSTALLATION	
	BATH UNIT TO BE PROVIDED. SPECIFICATION TBC.
	TOILET TO BE PROVIDED. SPECIFICATION TBC.
	BASIN TO BE PROVIDED. SPECIFICATION TBC.
	CHROME ELECTRIC TOWEL RAIL. SPECIFICATION TBC WITH CLIENT.
	TALL GAS FED 700MM RADIATOR. SPECIFICATION TBC WITH CLIENT.
	KITCHEN TO HAVE MECHANICAL VENTILATION WITH AN EXTRACT RATING OF 60L/sec SPECIFICATION TBC. EXTRACT TO BE ADJACENT TO HOB SEALED TO PREVENT ENTRY OF MOISTURE. INTERNAL DOORS SHOULD BE PROVIDED WITH 10mm GAP BELOW THE DOOR TO AID AIR CIRCULATION. VENTILATION PROVISION IN ACCORDANCE WITH THE DOMESTIC VENTILATION COMPLIANCE GUIDE. INTERMITTENT EXTRACT FANS TO BS EN 13141-4. ALL FIXED MECHANICAL VENTILATION SYSTEMS, WHERE TESTED AND ADJUSTED, SHALL BE COMMISSIONED AND SAID NOTICE GIVEN TO THE BUILDING CONTROL AUTHORITY.
	BATHROOMS AND WC TO BE VENTILATED BY CEILING MOUNTED CONTINUOUS MECHANICAL EXTRACTS. FAN SPECIFICATION TO BE ENVIROVENT ECO dMEV HT CONTINUOUS VENTILATION UNIT + HUMIDISAT & TIMER AS SHOWN PROVIDING VENTILATION OF 15 l/s MIN. BATHROOM AND EN-SUITE FANS TO BE OPERATED VIA THE LIGHT SWITCH AND TO HAVE A 15 MIN OVERRUN.
	DENOTES BOILER POSITION: WHERE COMBI BOILERS ARE USED THE SHOWER OVER THE BATH CAN BE THERMOSTATIC BUT THE CONTRACTOR/SPECIALIST OR MANUFACTURER MUST CONFIRM THAT THE BOILER FLOW RATES AND HOT WATER TEMPERATURES CAN BE MET FOR SIMULTANEOUS DRAW OFFS IN ACCORDANCE WITH THE NHBC STANDARDS, CHAPTER 8.1.D9. THE EN-SUITE (IF APPLICABLE) MUST ONLY BE FITTED WITH AN ELECTRIC SHOWER INSTEAD OF A THERMOSTATIC VALVE. IF NEW BOILER IS REQUIRED TBC BY SPECIALIST CONTRACTOR PRIOR TO REMOVAL OF EXISTING OR INSTALLATION. CLIENT MUST BE NOTIFIED.

PROPOSED MECHANICAL & ELECTRICAL LEGEND
M&E LAYOUT
SCALE 1:20 @A1



PROPOSED FOUNDATION PLAN
FOUNDATION & DRAINAGE LAYOUT
SCALE 1:20 @A1

NOTES:

- 1) All workmanship and materials to comply with building regulations and codes of practice requirements. It is the contractors responsibility to check the specification of materials or appliances prior to order. All materials to be fixed, applied or mixed in accordance with manufacturers instructions or specifications. All materials shall be suitable for there purpose.
- 2) The contractor shall take into account everything necessary for the proper execution of the works, to the satisfaction of the "inspector" whether or not indicated on the drawing. This drawing to be check and verified by the contractor prior to work commencing on site.
- 3) All electrical work required to meet the requirements of Part P (Electrical Safety) must be design, installed and tested by a person competent to do so.
- 4) Prior to completion the council should be satisfied that Part P has been complied with. This may require an appropriate BS 7671 electrical installation certificate 'Part P - Electrical Safety in Dwellings' to be issued by a person competent to do so.
- 5) All proposed electrical points, first and second fixings to be confirmed on site prior to any work commencing on site. Contractor is to include for extending and modifying the existing elctrical installation to suit the clients requirements.
- 6) All of the kitchen area is to have all plaster stripped from the walls along with initial demolition (refer to demolition layouts). This area is to be rewired entirely and re-plastered.
- 7) The new kitchen area is to be provided with a **Smoke Detector** and fire alarm system to Grade D Category LD3 Standard in Accordance with paragraph 1.4. To BS 5446 Part 1 and installed in accordance with Building Regulation Approved Document B. To be mains fed with battery back up and inter connected.
- 8) Kitchen to have new heat detector installed adjacent to the hob/oven. Refer to drawing for location. Specification to comply with Approved Document B - to be confirmed.
- 9) Details of heating are to be confirmed in due course by the client and shall comprise of suitable fixed heating appliances. PPD have suggested that the client should install plumed vertical radiator & towel rad for kitchen and bathroom. See drawing for locations.
- 10) Full specification of number and szie of heating appliances is to be worked out by contractor and specialist trades using loadings after diversity. To be confirmed on site with client prior to order and purchase.

ELECTRICAL INSTALLATION

TO COMPLY WITH APPROVED DOCUMENT M - 2004 EDITION: PART M1, SECTION 8 & APPROVED DOCUMENT P - 2004 EDITION.

APPROPRIATE HEIGHTS FROM FINISHED FLOOR LEVEL.	TYPE OF ELECTRICAL OUTPUT.
450MM	SOCKETS, T.V. POINTS, TELEPHONE JACK POINTS.
1200MM	LIGHT SWITCHES, DOORBELLS.

ALL ELECTRICAL WORK REQUIRED TO MEET THE REQUIREMENTS OF PART P (ELECTRICAL SAFETY) MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY A PERSON COMPETENT TO DO SO.
PRIOR TO COMPLETION THE COUNCIL SHOULD BE SATISFIED THAT PART P HAS BEEN COMPLIED WITH. THIS MAY REQUIRE AN APPROPRIATE BS 7671 ELECTRICAL INSTALLATION CERTIFICATE TO BE ISSUED FOR THE WORK BY A PERSON COMPETENT TO DO SO.

Revision Number: [REV P02] Author: [APPJ]
Revision Notes:

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Drawing Name: WV-2100-P02-BC Sheet Title: Mechanical & Electrical Layouts Pg No: PG 6

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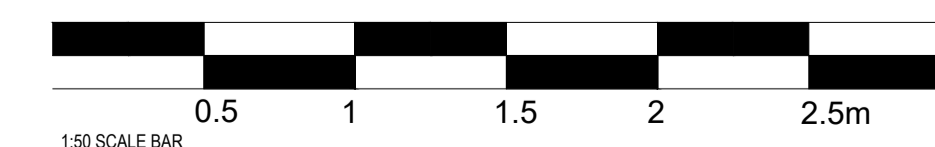
Sheet Title:

Side Extension - Building Regulations - M&E Layouts

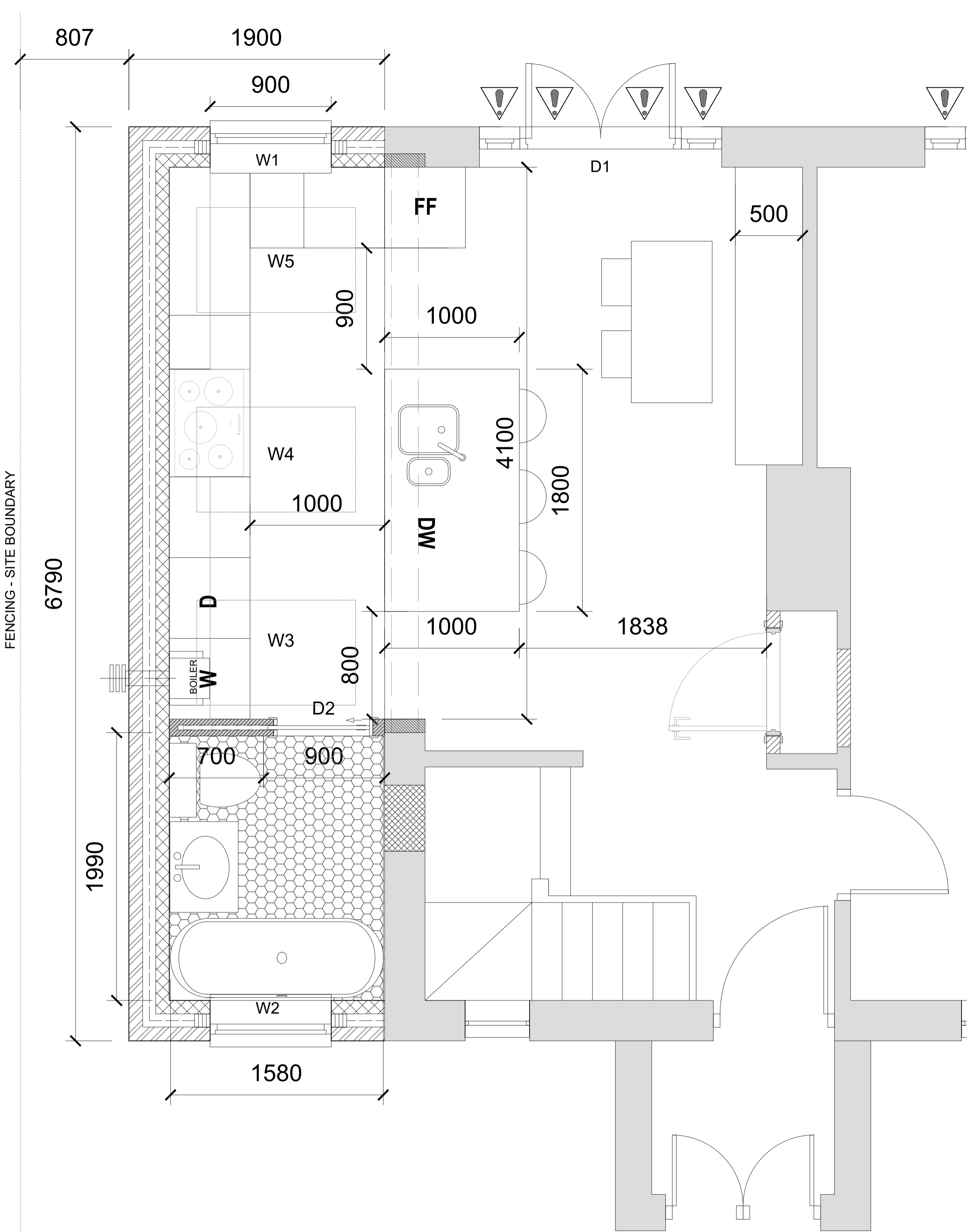
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FENCING - SITE BOUNDARY



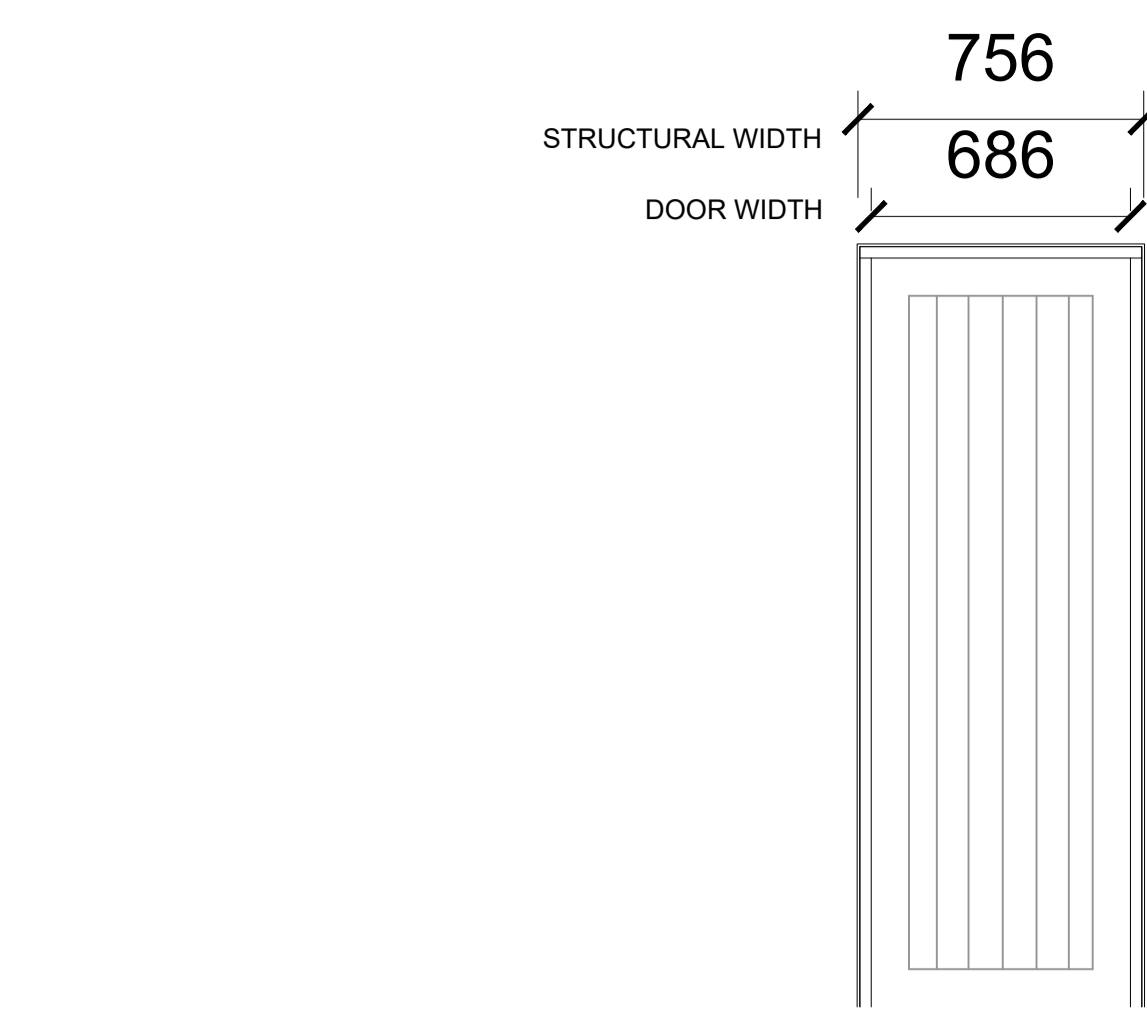
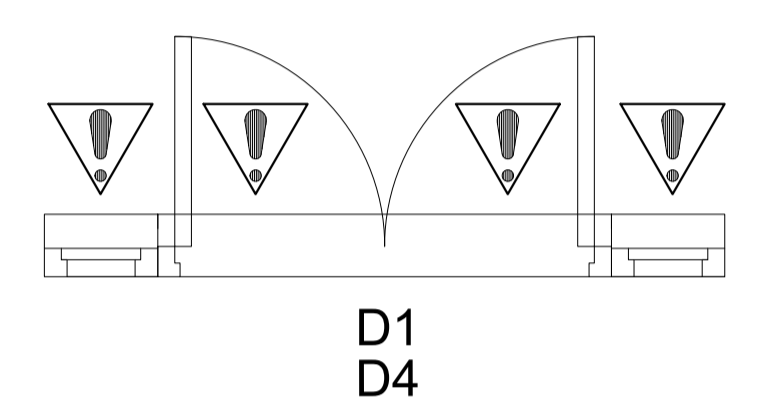
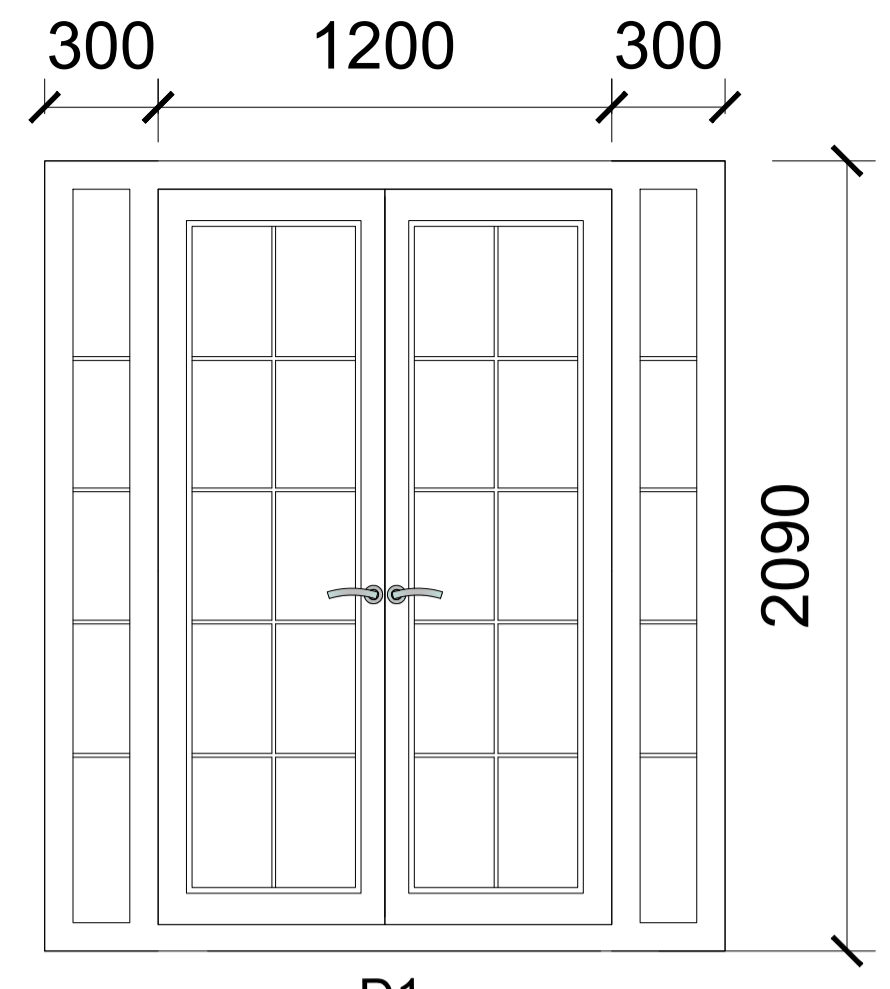
PROPOSED GROUND FLOOR PLAN
WINDOW & DOOR SCHEDULE
SCALE 1:20 @A1

PROPOSED WINDOW SCHEDULE
WINDOW & DOOR SCHEDULE
SCALE 1:20 @A1

FOR SKYLIGHT DETAILS (W3 - W6) REFER TO DRAWING SECTION AND DETAIL 02.

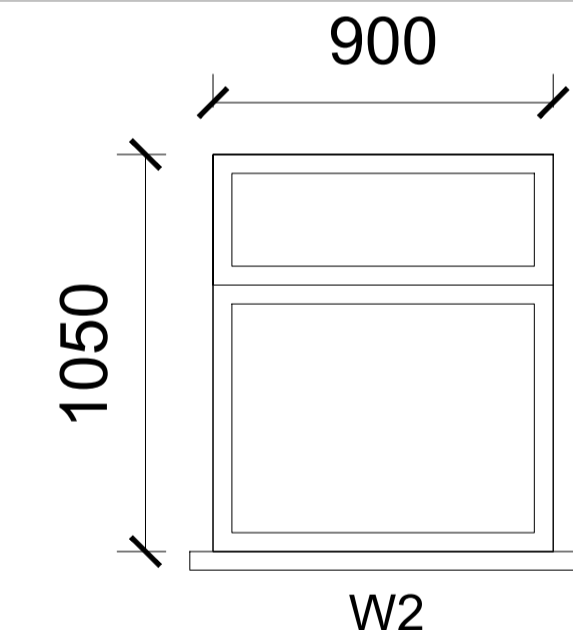
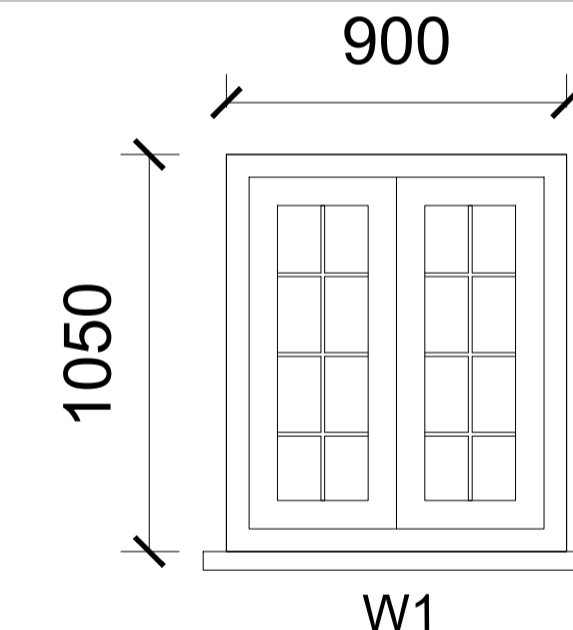
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ED-A	ID-A	ID-B
1800 x 2090	686 x 1981	686 x 1981
1200mm UPVC Georgian French Door & 2x300mm Sidelite Combination. Specification to be confirmed with client.	Internal sliding door for bathroom. Specification to be confirmed by client.	Internal door for storage. Specification to be confirmed by client.

PROPOSED DOOR SCHEDULE
WINDOW & DOOR SCHEDULE
SCALE 1:20 @A1



W-A	W-B
900 x 1050	900 x 1050
Standard sized window. Double sash side opening with internal mullions. Material finish to be white UPVC to match existing. Exact spec to be confirmed with clients.	Standard sized window. Single transom window. Material finish to be white UPVC to match existing. Exact spec to be confirmed with clients.

NOTES:

- 1) All workmanship and materials to comply with building regulations and codes of practice requirements. It is the contractors responsibility to check the specification of materials or appliances prior to order. All materials to be fixed, applied or mixed in accordance with manufacturers instructions or specifications. All materials shall be suitable for there purpose.
- 2) The contractor shall take into account everything necessary for the proper execution of the works, to the satisfaction of the "inspector" whether or not indicated on the drawing. This drawing to be check and verified by the contractor prior to work commencing on site.
- 3) Dimensions of all structural openings to be confirmed before any orders are placed for windows/doors.
- 4) Steel beams and columns to be protected from fire according to UK Building Regulations. Minimum 1 hour fire resistance is required. 2 coats of intumescent paint or a double layer of plaster board to be provided.
- 5) Before removing any walls principle contractor to confirm on site structural stability of building and wall. Consult directly with SE and refer to S.E notes for Steels and Post specifications & dimensions.
- 6) Existing structure to be confirmed suitable for imposed loadings by S.E. Movement joints to be confirmed by S.E on site prior to any construction works.

LEVEL OF OCCUPANCY:
FOR BACKGROUND VENTILATION CALCULATIONS, ASSUMED ACCOMMODATION LEVELS ARE IN ACCORDANCE WITH APPROVED DOCUMENT F1, TABLE 5.2A (NOTE B). BEDS AS SHOWN IN BEDROOMS ARE TO INDICATE THE ROOM SIZE IS APPROPRIATE FOR A DOUBLE BED IF REQUIRED.

WINDOW VENTILATION NOTE:
WINDOW MANUFACTURER TO PROVIDE OVERHEAD BACKGROUND VENTILATORS TO ALL WINDOWS TO COMPLY WITH TABLE 5.2A OF APPROVED DOCUMENT F1 SECTION 5. MINIMUM 5000mm² EQUIVALENT AREA IN ALL HABITABLE ROOMS AND MINIMUM 2500mm² IN ALL WET ROOMS. TOTAL CALCULATED EQUIVALENT AREA REQUIRED BASED ON FLOOR AREA AND OCCUPANCY TO MEET BUILDING REGULATION REQUIREMENTS. CALCULATIONS TO BE MET BY PROPRIETARY CONTRACTOR PRIOR TO MANUFACTURE.

WINDOW MANUFACTURER PLEASE NOTE:
ALL WINDOWS / DOORS TO BE DRAUGHT PROOF. WHERE APPLICABLE, ALL WINDOWS ON FRONT ELEVATIONS TO HAVE MATCHING CASEMENTS AND REBATES SUFFICIENT TO ACCOMMODATE MINIMUM 24MM O/A SEALED UNITS. N.B. WHERE RECONSTRUCTED STONE CILLS ARE USED, CORRESPONDING WINDOWS TO BE MANUFACTURED WITH 90mm STUB CILL - ALL OTHER DOORS / WINDOWS TO HAVE MIN 155MM SECTION CILLS.

STRUCTURAL OPENING DIMENSIONS DENOTES DOOR INCLUDING DOOR FRAME TO BE PROVIDED
ALL WINDOW AND DOOR DETAILS AND SIZES TO BE TAKEN AS A GUIDE. WINDOW / DOOR MANUFACTURERS TO DO SITE SURVEY PRIOR TO MANUFACTURING DOORS & WINDOWS
ALL SKYLIGHTS TO SPECIALIST DETAIL, FITTINGS AND SIZE. ALL FABRICATION SIZES TO BE TAKEN FROM CONSTRUCTED OPENING SIZE.

NOTE:
ALL INNER ROOMS WHERE APPLICABLE AND ALL FIRST FLOOR HABITABLE ROOMS TO BE PROVIDED WITH AN ESCAPE WINDOW (OR EXTERNAL DOOR) WHICH COMPLIES WITH APPROVED DOCUMENT B1 SECTION 2 PARAGRAPHS 2.8 & 2.9 OF THE 2006 BUILDING REGULATIONS:- UNOBSTRUCTED OPENING CASEMENT AREA TO BE AT LEAST 0.33M² AND AT LEAST 450MM HIGH AND 450MM WIDE. BOTTOM OF WINDOWS TO BE NOT MORE THAN 1100MM AND NOT LESS THAN 800MM ABOVE THE FLOOR MIN. ESCAPE WINDOWS TO HAVE NON LOCKABLE FASTENERS AND HINGED TO ACHIEVE THE MIN. OPENING REQUIRED. SEE DETAIL NO: WD[7]03.

DENOTES TOUGHENED SAFETY GLASS TO B.S. 6206

Revision Number: [REV P02] Author: [APPJ]
Revision Notes:

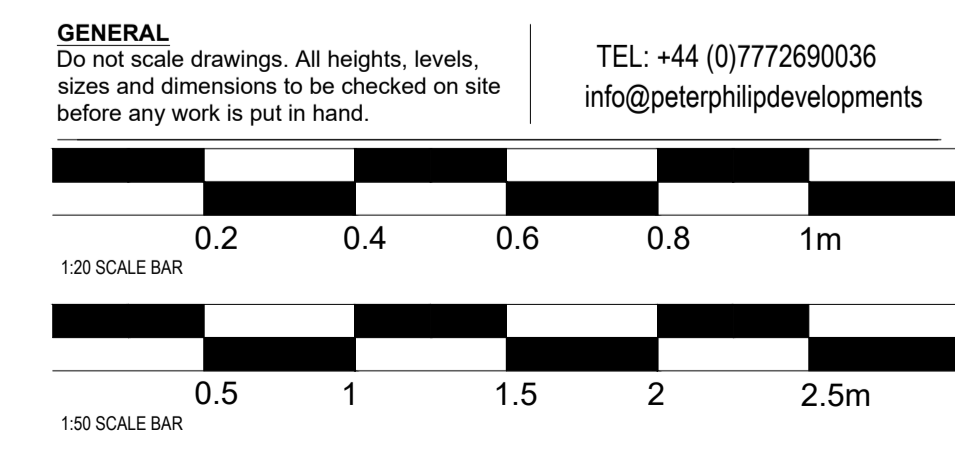
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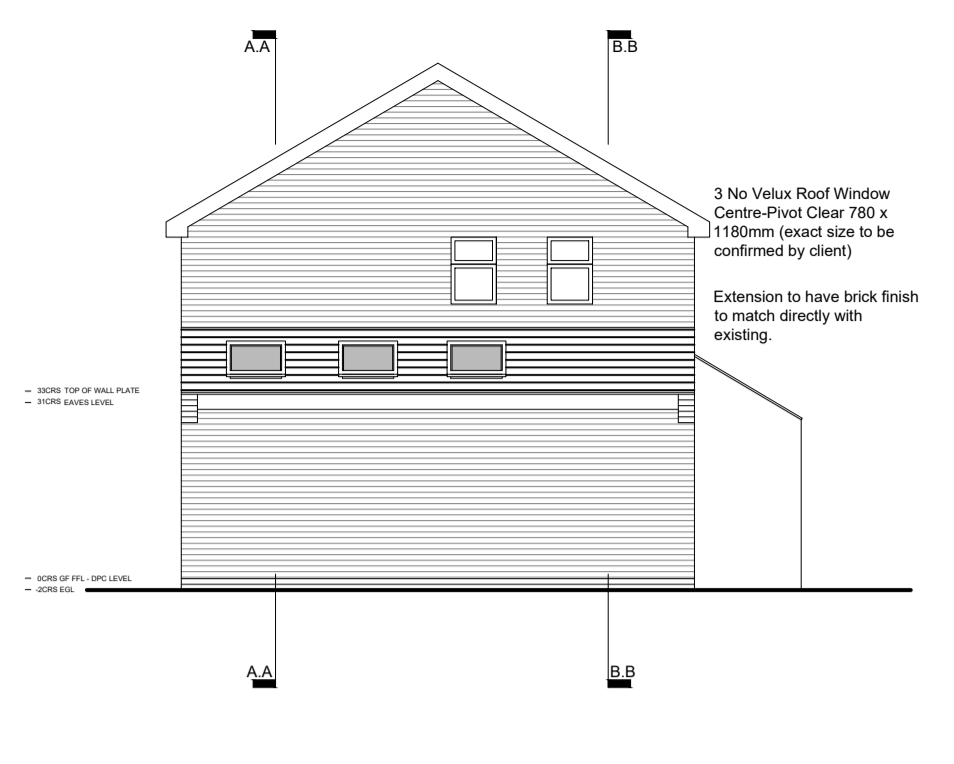
Drawing Name: WV-2170-P02-BC Sheet Title: Window & Door Schedule Pg No: PG 7



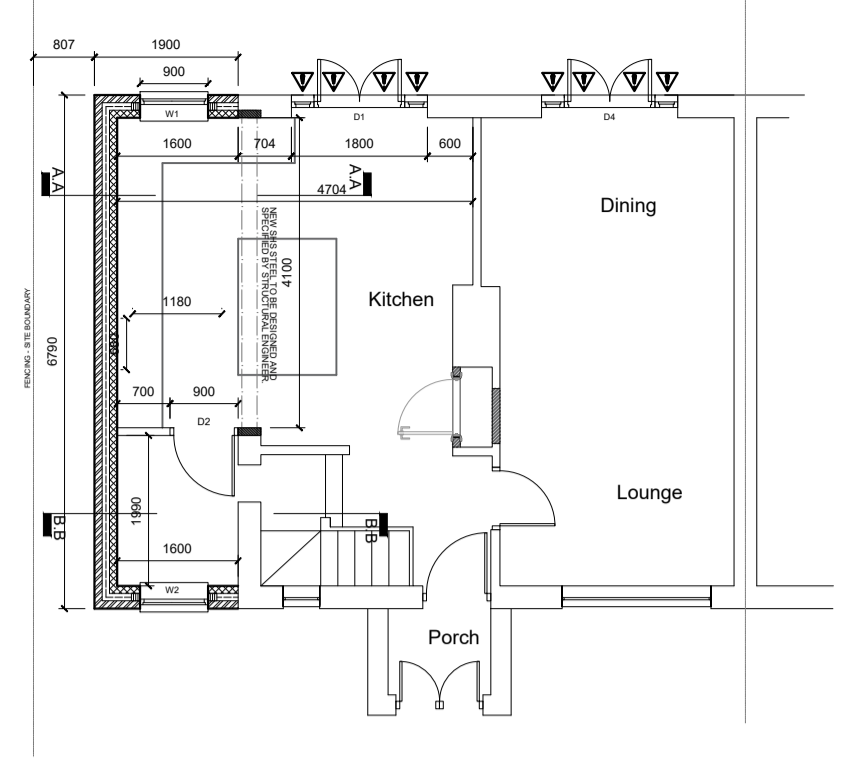
Sheet Title:
Side Extension - Building Regulations - Window & Door Sch

Revision No. REV 02	Client: Daniel & Rebecca Asher
Paper Size A1	Site Owner: Daniel & Rebecca Asher
Scale Drawing specific	
Author APPJ	Site Address: 38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Contractors TBC - CLIENT CHOICE	





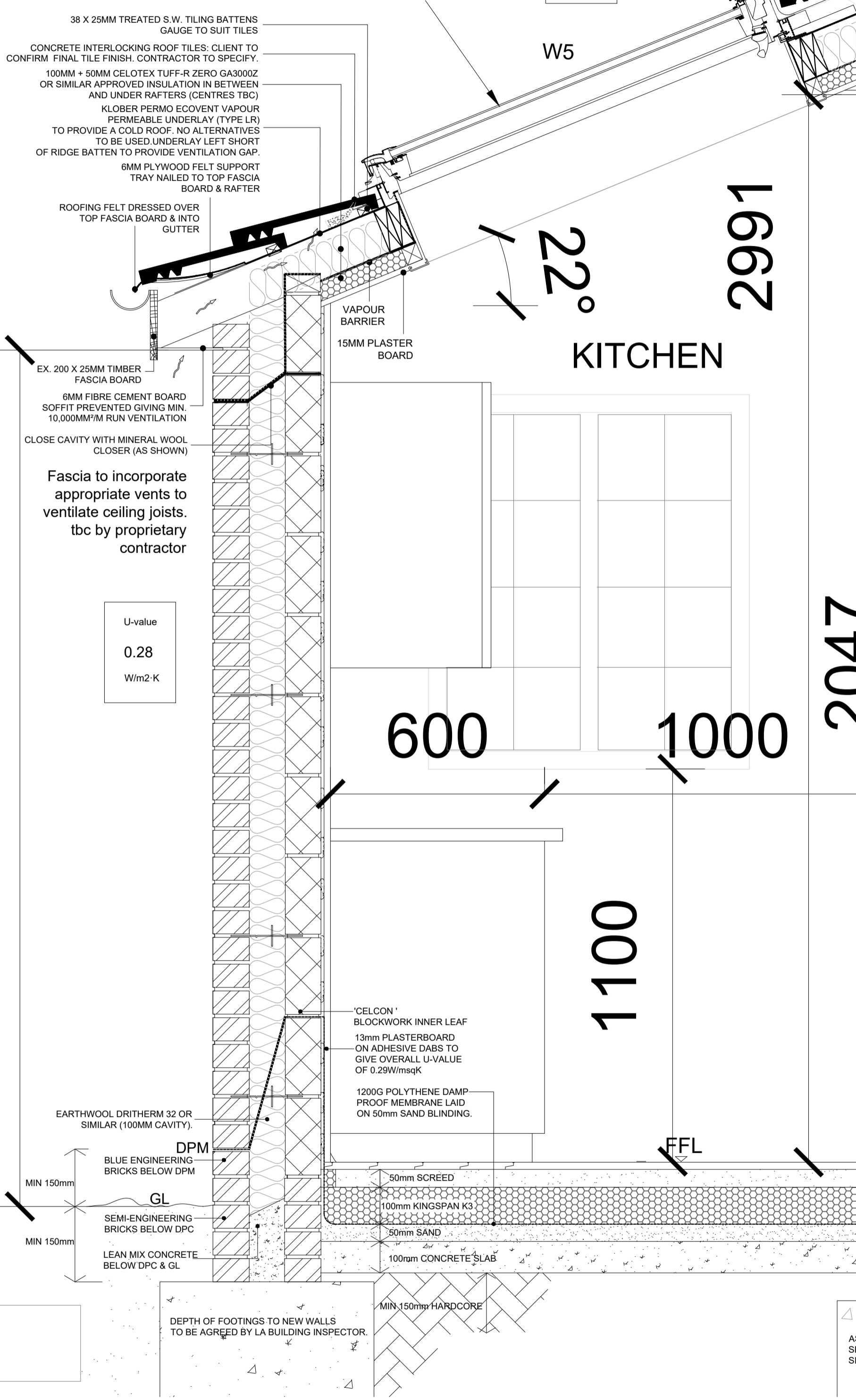
PROPOSED SIDE ELEVATION SECTION & DETAIL 01
SCALE 1:100 @A1



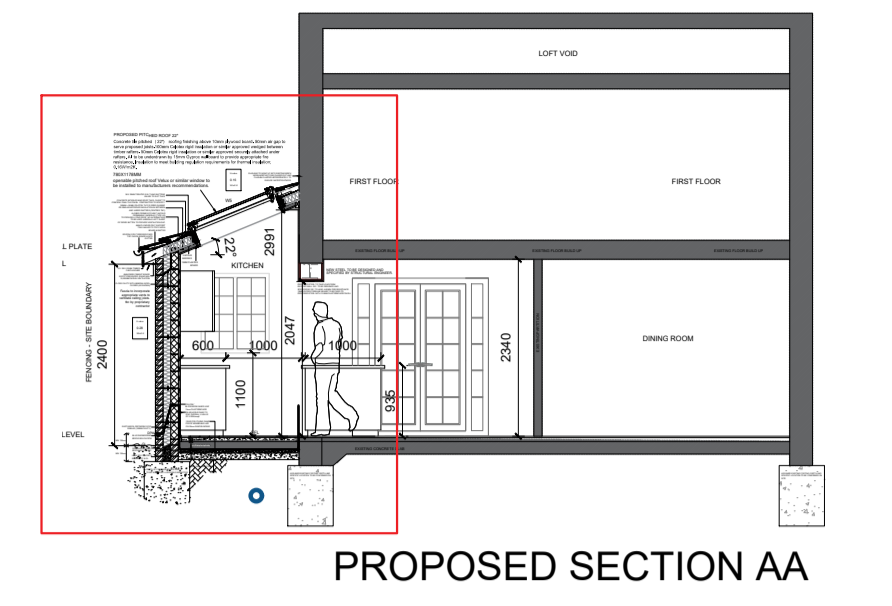
PROPOSED GROUND FLOOR PLAN SECTION & DETAIL 01
SCALE 1:100 @A1

PROPOSED PITCHED ROOF 22*
Concrete tile pitched (22°) roofing finishing above 10mm plywood board. 50mm air gap to serve proposed joists. 100mm Celotex rigid insulation or similar approved wedged between timber rafters. 50mm Celotex rigid insulation or similar approved securely attached under rafters. All to be underdrawn by 15mm Gyproc wallboard to provide appropriate fire resistance. Insulation to meet building regulation requirements for thermal insulation; 0.16W/m2K.

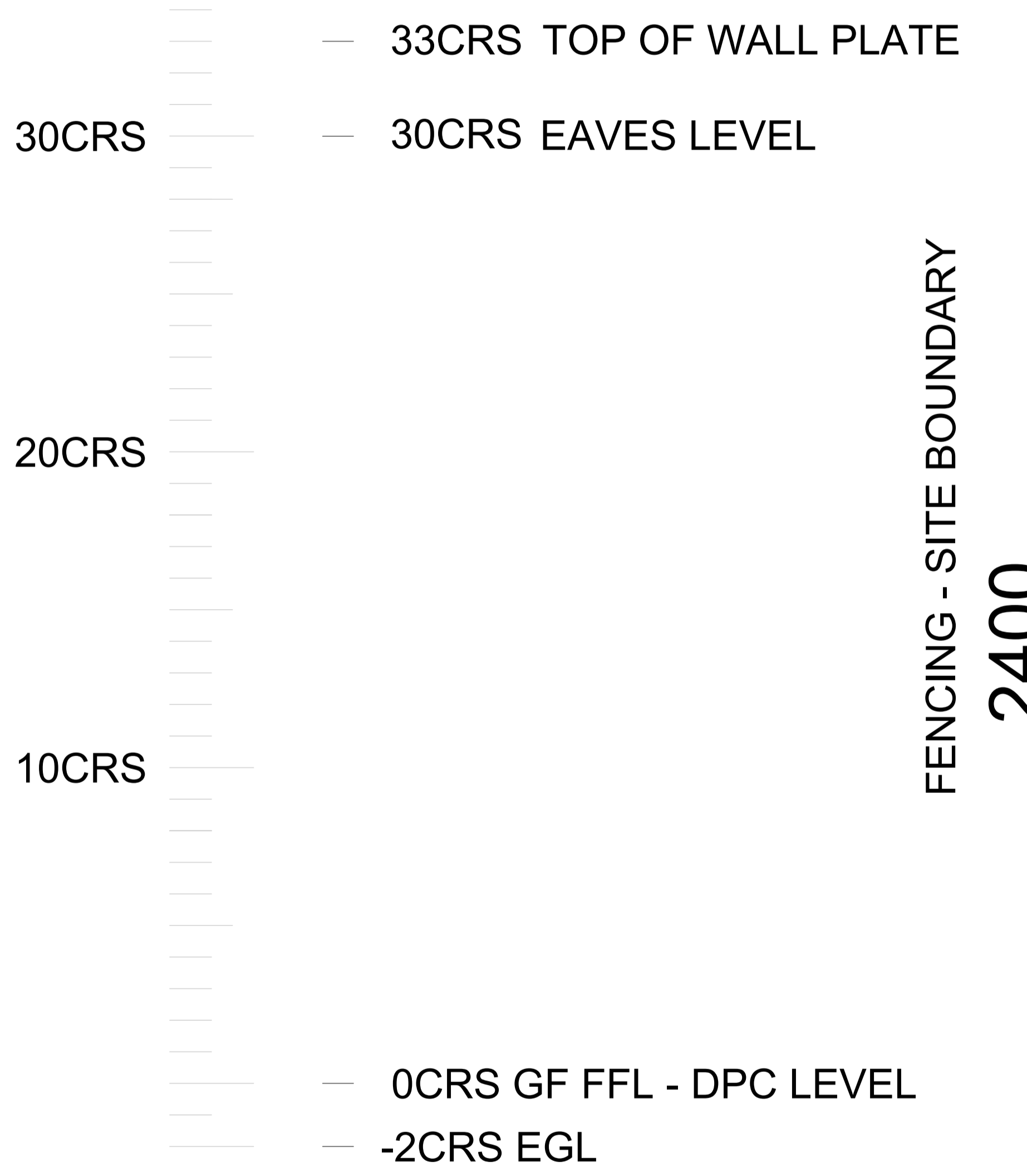
780X1178MM
openable pitched roof Velux or similar window to be installed to manufacturers recommendations.



FIRST FLOOR



PROPOSED SECTION AA



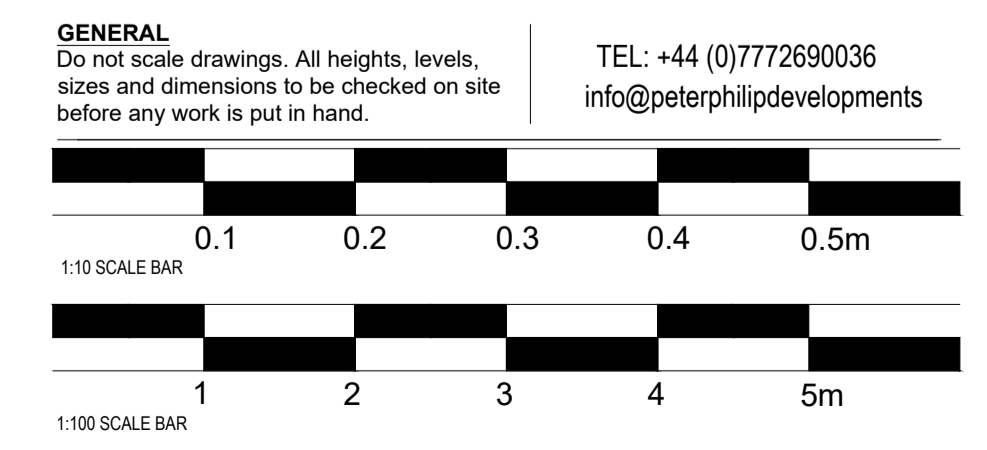
PROPOSED SECTION AA SECTION & DETAIL
SCALE 1:10 @A1

- NOTES:**
- 1) This drawing is a preliminary specification and is indicative only. This is not a construction drawing.
 - 2) Indicative existing drainage to be confirmed on site by the principal contractor prior to starting work.
 - 3) Contractor is responsible for checking any existing adjacent building foundations if they are assumed on the drawings prior to starting work.
 - 4) The contractor to seek for approval of the building control officer prior to the pouring of the foundation. The building control officer will visit the construction site to inspect the soil conditions and positioning and depth of the footings before the foundation is poured and covered.
 - 5) The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if building work on, to or near an existing Party Wall involves any of the following:
 - Support of beam
 - Insertion of DPC through wall
 - Raising a wall
 - cutting off projections
 - Demolition and rebuilding
 - Underpinning
 - Insertion of lead flashings
 - Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.
 A Party Wall Agreement is to be in place prior to start of works on site.
 - 6) Drains beneath buildings to be protected as below and to Severn Trent & Building Control Authority approval. Where drainage pipes pass through wall provide: Concrete lintels to each leaf of wall over pipes. length of pipe bedded in wall joints to be within 150mm of either wall face, with 600mm maximum length rocker pipe either side. All pipes to have flexible joints. Underground drainage systems to be Kitemarked 110 and 160mm diameter PVC-U extrusion drainpipes and fittings to BS 4660: 1989 and BS EN 1401-1: 1998 and installed in accordance with BS 5955: part 6: 1980 BS 8301: 1995
 - 7) All drainage runs and inverts to be checked on site. All new connections to be determined on site and agreed by building control inspector.
 - 8) Existing drainage run not surveyed and shown at assumed 150mm diameter based on the inspection chamber run.

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Sheet Title:
Side Extension - Building Regulations - Section & Detail 01

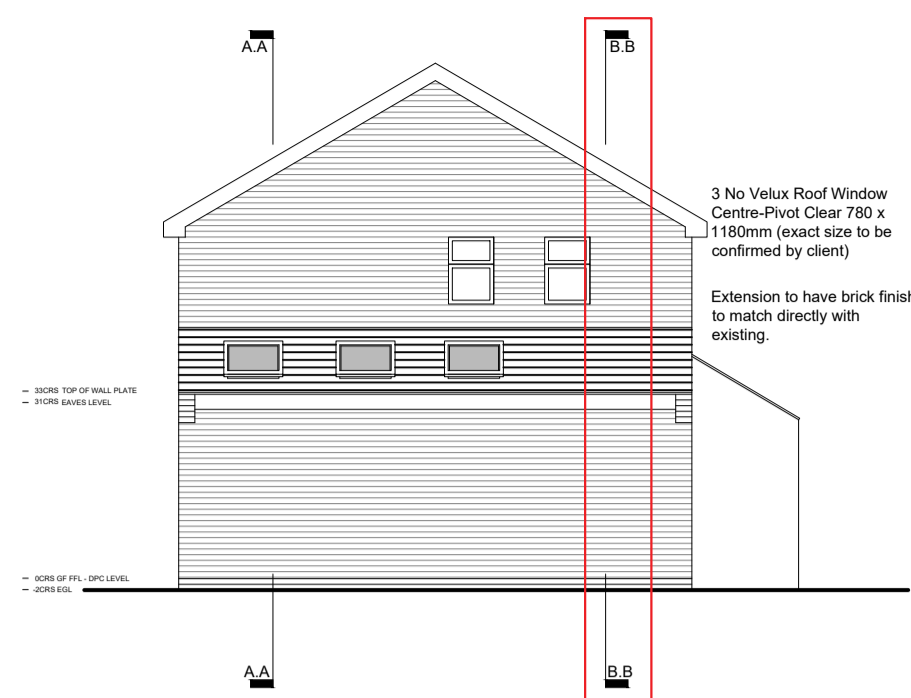
Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Author	APPJ	Contractors	TBC - CLIENT CHOICE



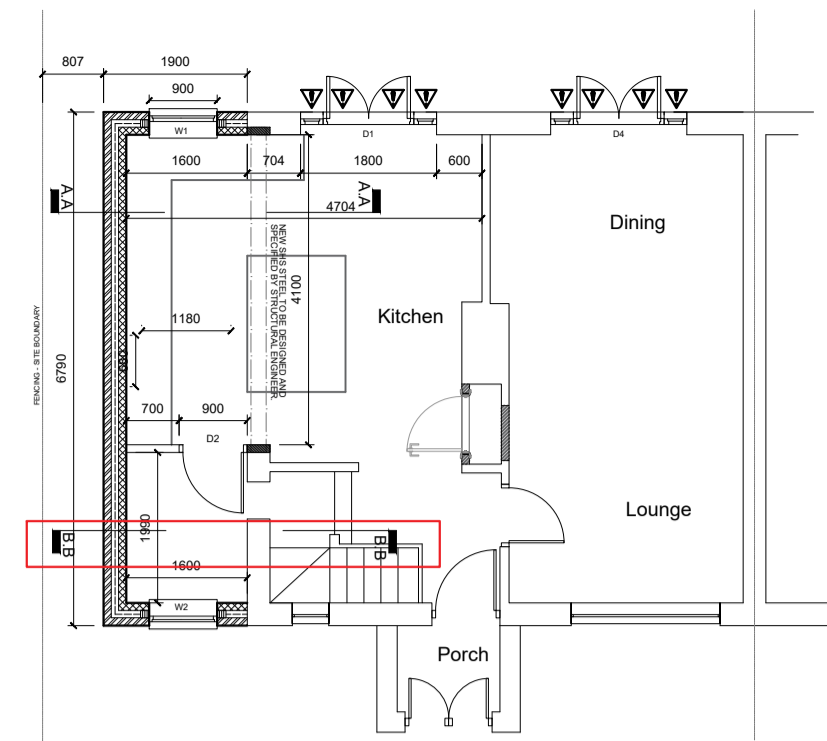
Revision Number:	[REV P02]	Author:	[APPJ]
Revision Notes:			
Index	Date	Changes	Author
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WV-2180-P02-BC	Section & Detail 01	PG 8

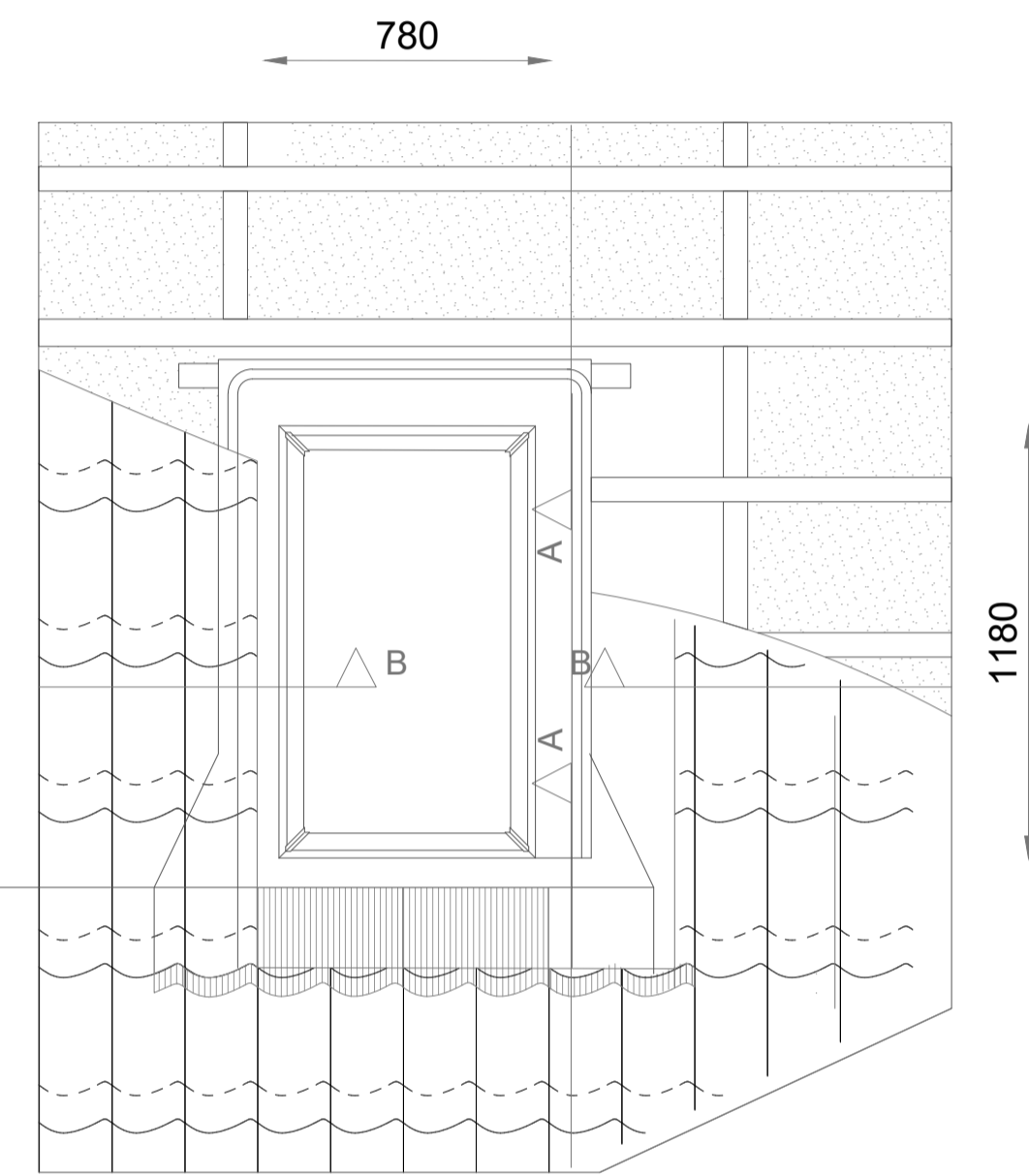




PROPOSED SIDE ELEVATION
SECTION & DETAIL 02
SCALE 1:100 @A1

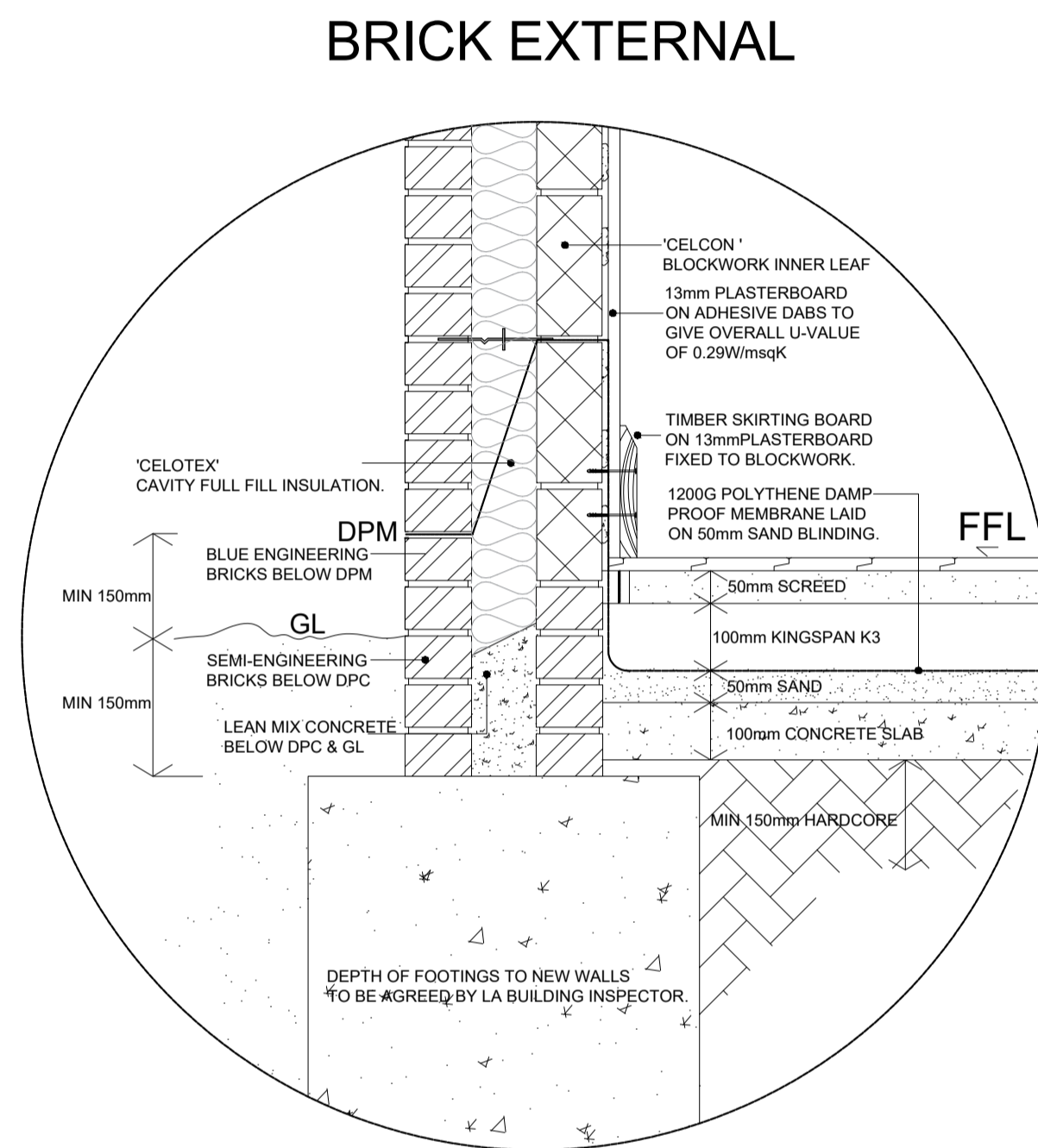


PROPOSED GROUND FLOOR PLAN
SECTION & DETAIL 02
SCALE 1:100 @A1

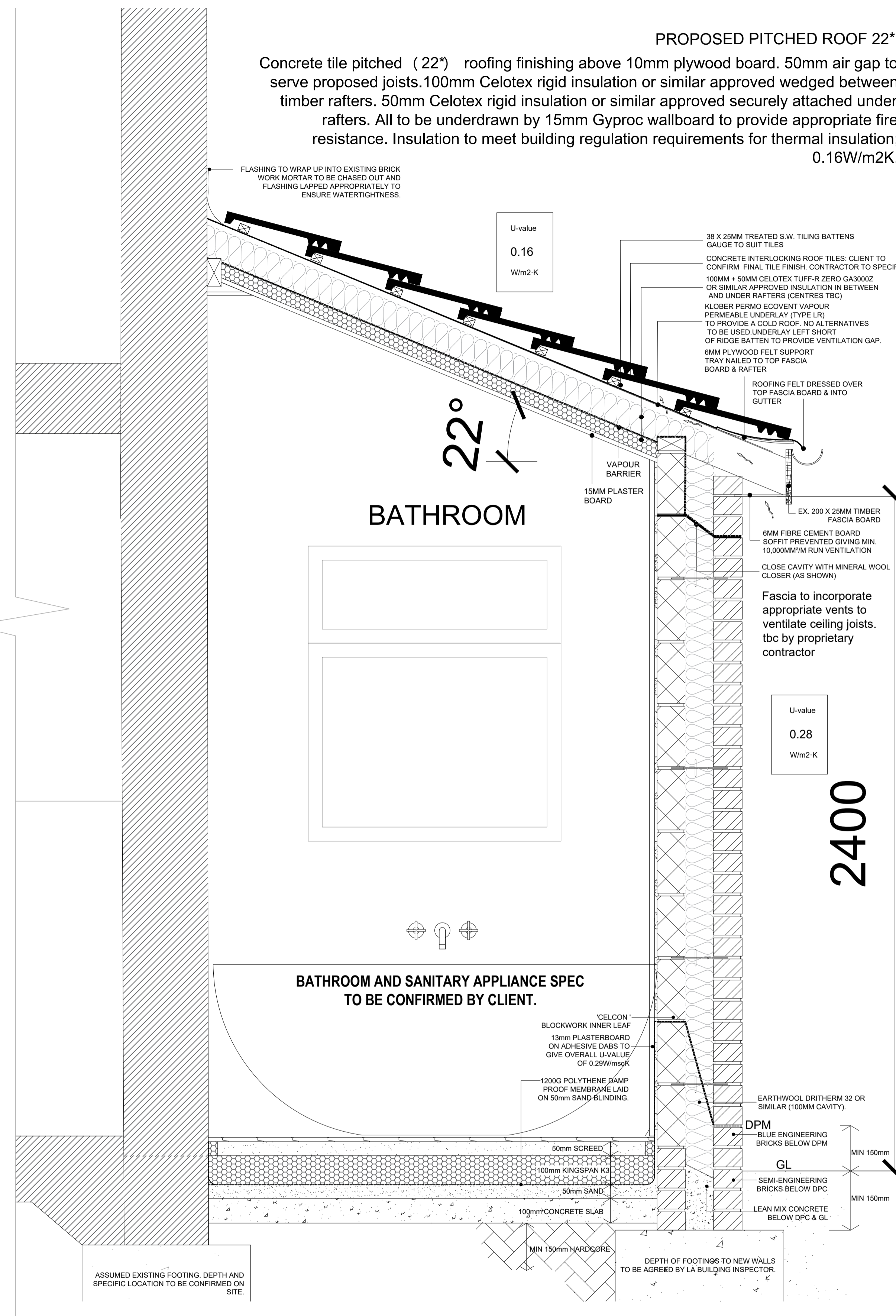


4xVELUX center pivot skylights to be installed in roof. To be installed as per detail and specialist manufactures specification. Model No. MK06. (If skylights are awkward to fit contractor is to liaise with client & SE to drop down size to 980mm x 780mm Model No. MK04)

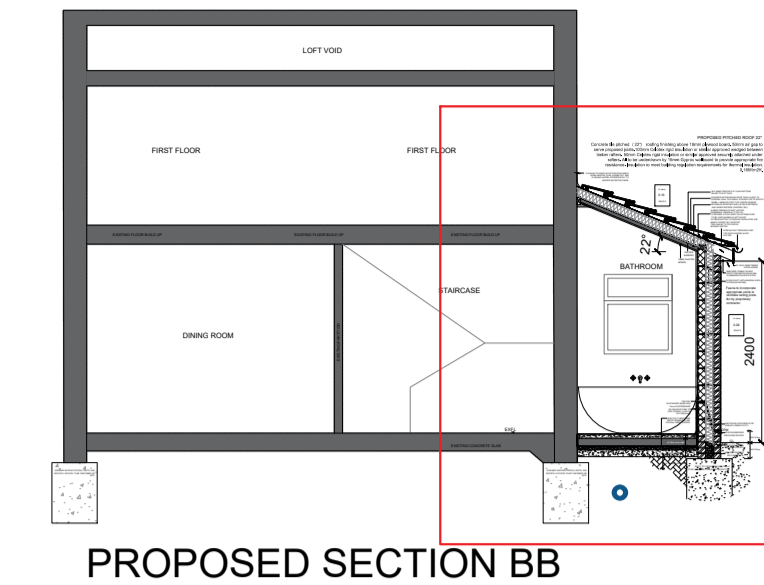
PROPOSED SKYLIGHT DETAIL
SECTION & DETAIL 02
SCALE 1:10 @A1



PROPOSED FOUNDATION DETAIL
SECTION & DETAIL 02
SCALE 1:10 @A1



PROPOSED SECTION BB
SECTION & DETAIL 02
SCALE 1:10 @A1



PROPOSED SECTION BB

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- 7) All drainage runs and inverts to be checked on site. All new connections to be determined on site and agreed by building control inspector.
- 8) Existing drainage run not surveyed and shown at assumed 150mm diameter based on the inspection chamber run.

NOTES:

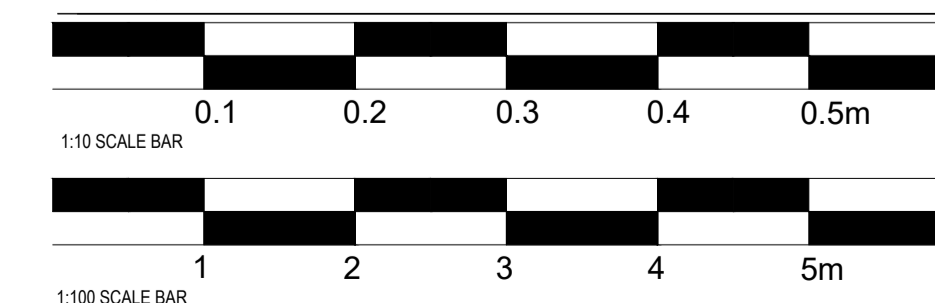
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Sheet Title:
Side Extension - Building Regulations - Section & Detail 02

Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Author	APPJ	Contractors	TBC - CLIENT CHOICE

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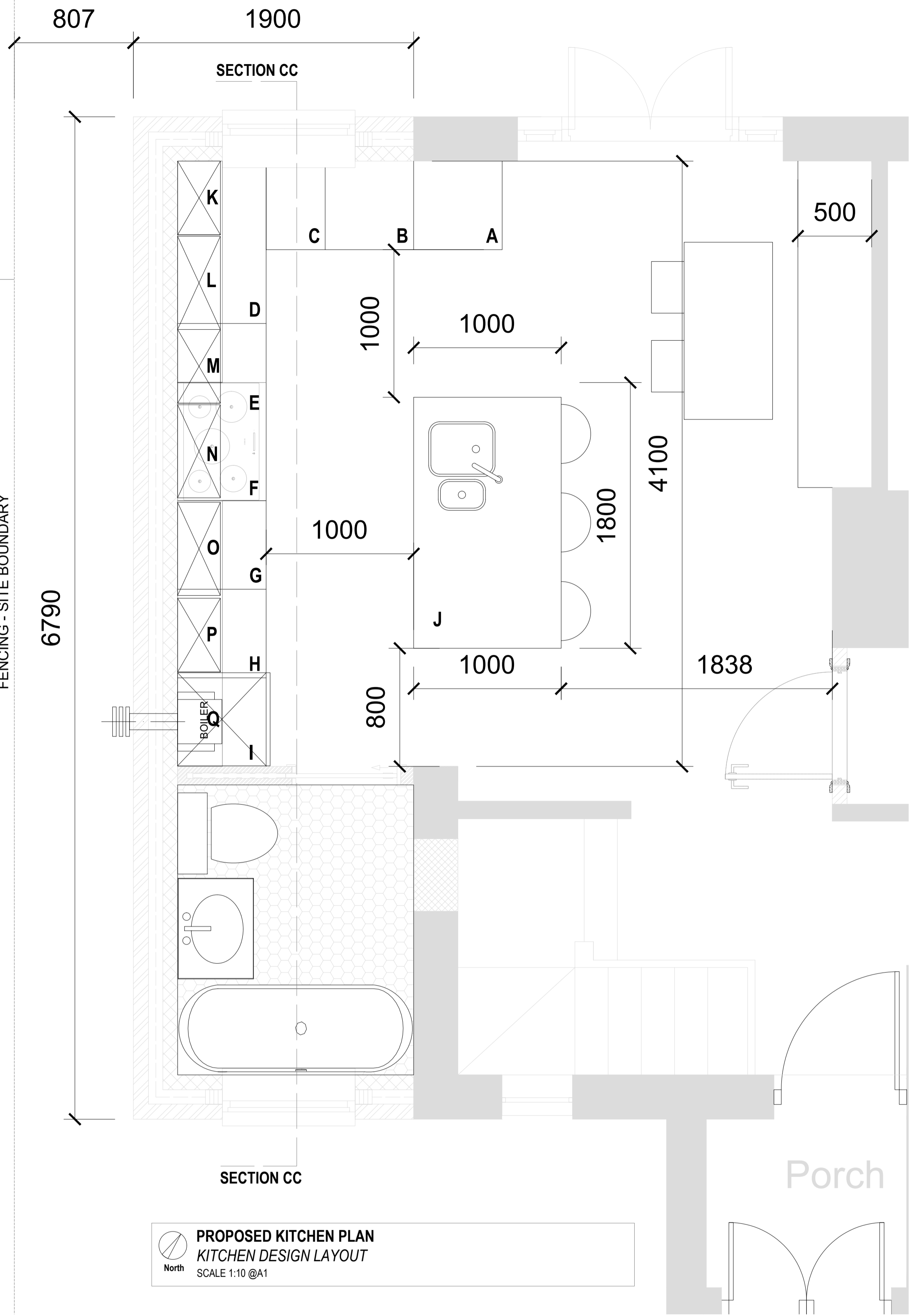
Revision Number:	[REV P02]	Author:	[APPJ]
Revision Notes:			

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Drawing Name:	Sheet Title:	Pg No:
WV-2181-P02-BC	Section & Detail 02	PG 9



FENCING - SITE BOUNDARY



PROPOSED KITCHEN PLAN
KITCHEN DESIGN LAYOUT
SCALE 1:10 @A1



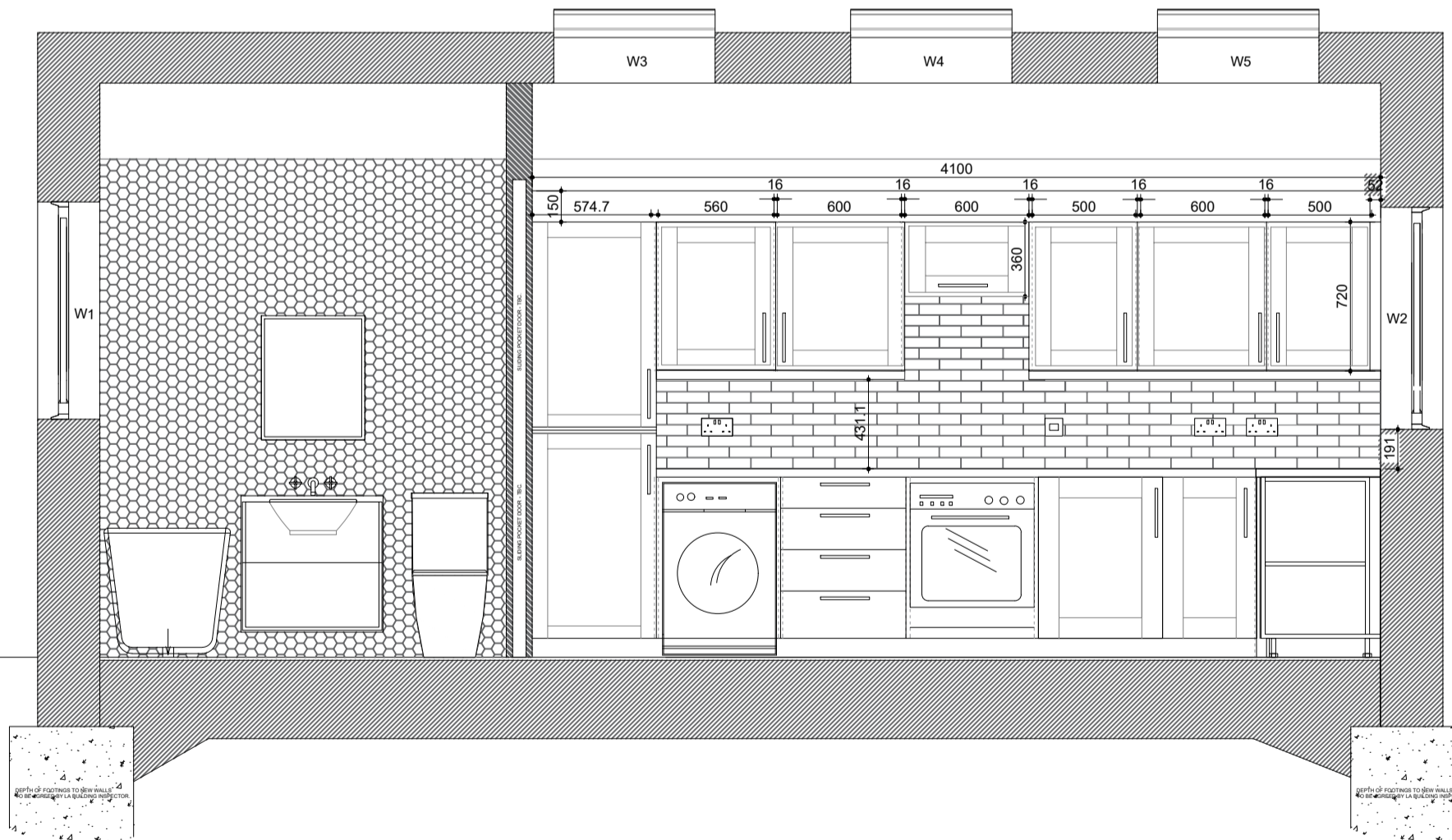
PROPOSED BENCH SEATING EXAMPLES
KITCHEN DESIGN LAYOUT
SCALE N/A @A1



PROPOSED BATHROOM SPECIFICATION EXAMPLES
BATHROOM DESIGN LAYOUT
SCALE N/A @A1



PROPOSED KITCHEN SPECIFICATION EXAMPLES.
KITCHEN DESIGN LAYOUT
SCALE N/A @A1



PROPOSED SECTION CC
KITCHEN DESIGN LAYOUT
SCALE 1:30 @A1

Unit Key	
A = 650mm Fridge/Freezer Space	J = 1000 x 1800mm Island with Inset Sink & Integrated Dishwasher
B = 600mm Base unit	K = 500mm Corner Wall unit
C = 300mm Base unit	L = 600mm Wall unit
D = 1100 Corner base unit (blind)	M = 500mm Wall unit
E = 500 Base unit	N = 600mm Integrated Extract Fan Cover
F = 600mm Oven base unit	O = 600mm Wall unit
G = 600mm 4 Drawer base unit	P = 570mm Wall unit
H = 630mm Washing Machine Space	Q = 570mm Full height top unit (To house new gas combi boiler)
I = 570mm Full Height bottom unit	

All kitchen units are to be designed and specified by kitchen designer - unit key is for reference use only. Kitchen designer is to come to site and check all measurements.

NOTES:

- 1) This drawing is a preliminary specification and is indicative only. This is not a construction drawing.
- 2) Indicative existing drainage to be confirmed on site by the principal contractor prior to starting work.
- 3) Full specification of number and size of appliances, kitchen units and sanitaryware is to be worked out by contractor and specialist trades. To be confirmed on site with client prior to order and purchase.
- 4) All workmanship and materials to comply with building regulations and codes of practice requirements. It is the contractors responsibility to check the specification of materials or appliances prior to order. All materials to be fixed, applied or mixed in accordance with manufacturers instructions or specifications. All materials shall be suitable for there purpose.
- 5) The contractor shall take into account everything necessary for the proper execution of the works, to the satisfaction of the "inspector" whether or not indicated on the drawing. This drawing to be check and verified by the contractor prior to work commencing on site.
- 6) Dimensions of all structural openings to be confirmed before any orders are placed for windows/doors.
- 7) Drains beneath buildings to be protected as below and to Severn Trent & Building Control Authority approval. Where drainage pipes pass through wall provide: Concrete lintels to each leaf of wall over pipes.length of pipe bedded in wall joints to be within 150mm of either wall face, with 600mm maximum length rocker pipe either side. All pipes to have flexible joints. Underground drainage systems to be Kitemarked 110 and 160mm diameter PVC-U extrusion drainpipes and fittings to BS 4660: 1989 and BS EN 1401-1: 1998 and installed in accordance with BS 5955: part 6: 1980 BS 8301: 1995
- 8) All drainage runs and invert to be checked on site. All new connections to be determined on site and agreed by building control inspector.
- 9) Existing drainage run not surveyed and shown as assumed 150mm diameter based on the inspection chamber run.

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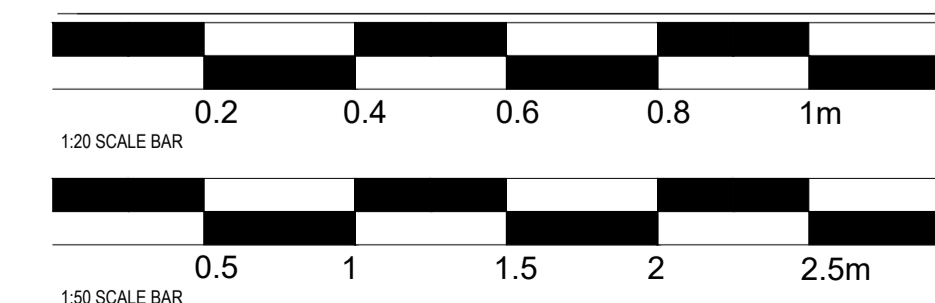
Sheet Title:

Side Extension - Building Regulations - Kitchen Design 01

Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Author	APPJ	Contractors	TBC - CLIENT CHOICE

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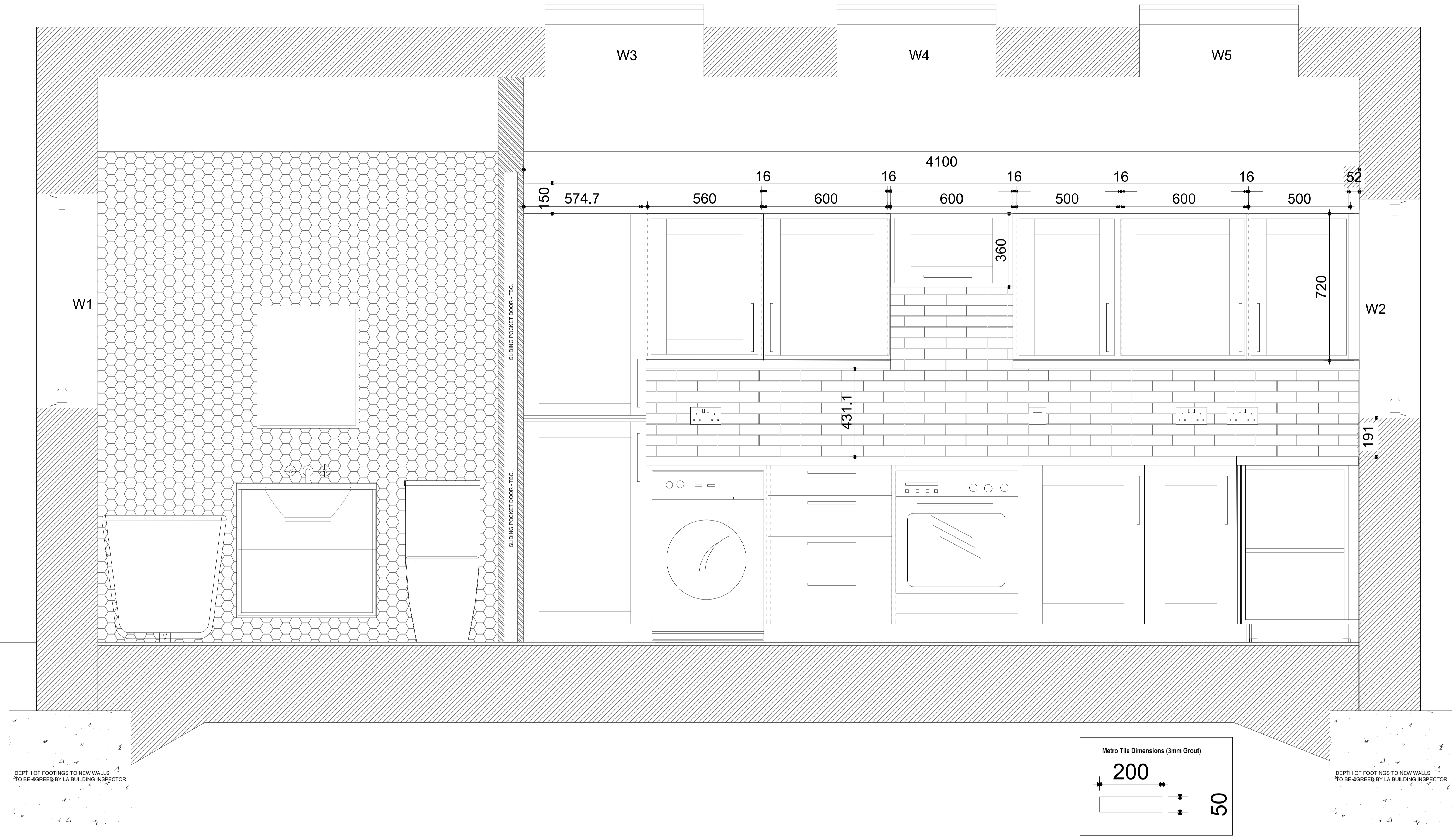
Revision Number:	[REV P02]	Author:	[APPJ]
Revision Notes:			

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F	-	-	-

Drawing Name:	Sheet Title:	Pg No:
WV-2190-P02-BC	Kitchen Design Layout 01	PG 10



KITCHEN & BATHROOM UNITS AND DESIGN ARE INDICATIVE. CLIENT IS TO CONFIRM FINAL DESIGN AND SPECIFICATION WITH THE KITCHEN SPECIALIST. KITCHEN SPECIALIST TO APPROVE THE FINAL DESIGN AND LAYOUTS WITH THE CLIENT. THIS SHOULD BE TAKEN AS A VISUAL AID ONLY AT THIS STAGE.



PROPOSED SECTION CC
KITCHEN DESIGN LAYOUT
SCALE 1:10 @A1

NOTES:

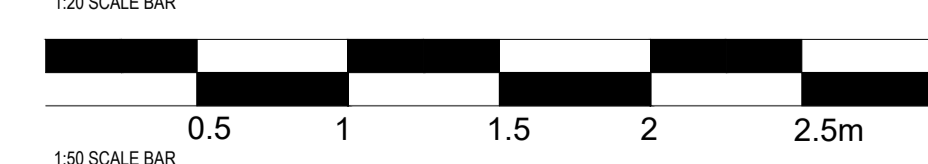
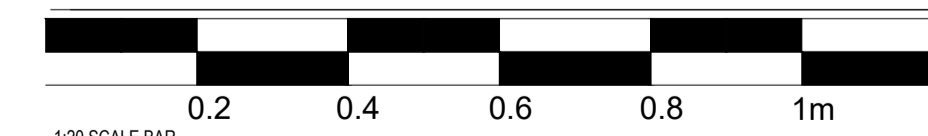
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Sheet Title:
Side Extension - Building Regulations - Kitchen Design 02

Revision No.	REV 02	Client:	Daniel & Rebecca Asher
Paper Size	A1	Site Owner:	Daniel & Rebecca Asher
Scale	Drawing specific	Site Address:	38 Woodview, Edwalton, Nottinghamshire NG12 4AX
Author	APPJ	Contractors	TBC - CLIENT CHOICE

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Revision Number:	[REV P02]	Author:	[APPJ]
Revision Notes:			

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WV-2191-P02-BC	Kitchen Design Layout 02	PG 11

